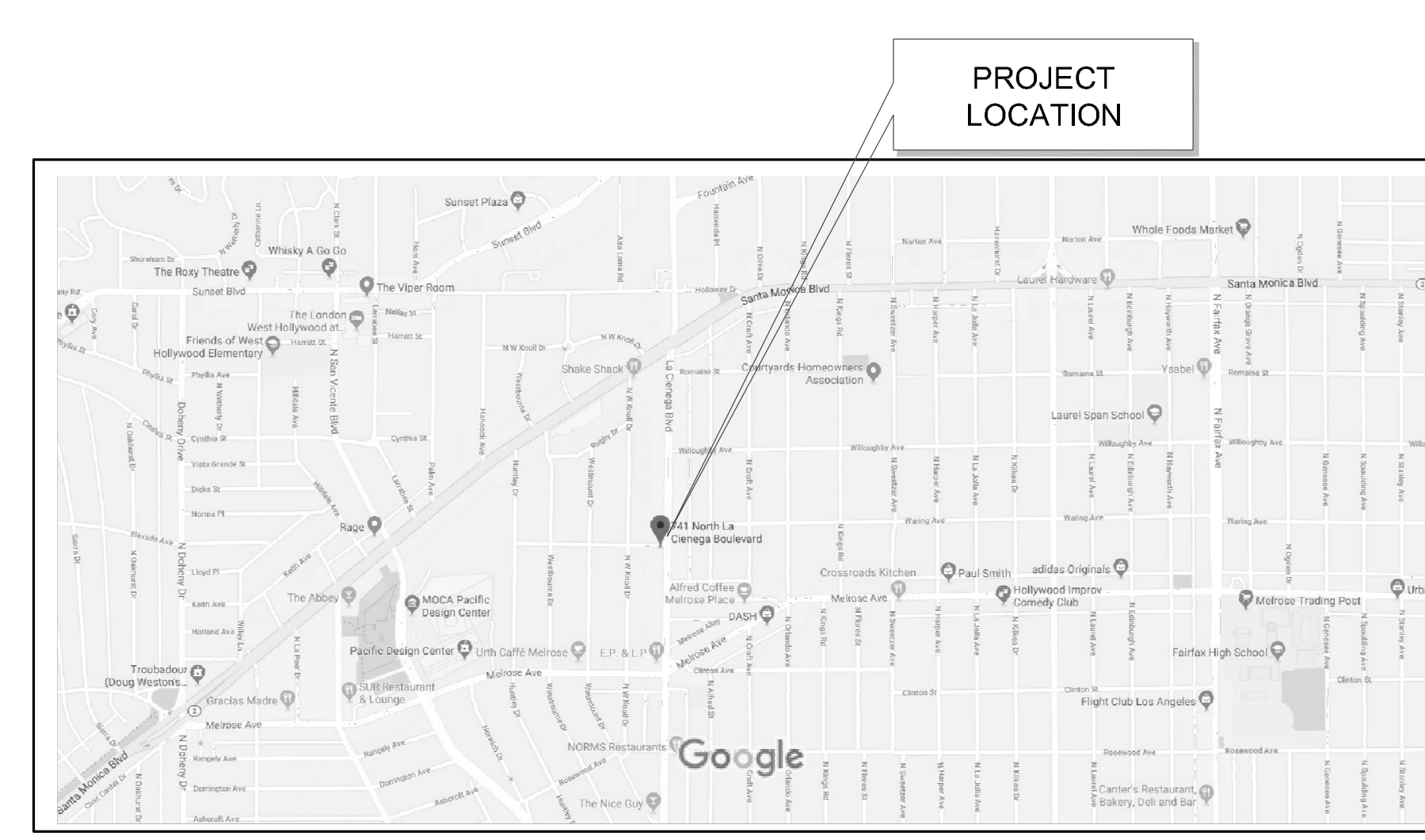




West Hollywood
741 North La Cienega Boulevard
Los Angeles, California

JLL Architecture, LLC
200 East Randolph Drive
Chicago, IL 60601
398 S. Mill Avenue, # 201
Tempe, AZ 85281
tel +1 480 626 6304
fax +1 480 401 3602

COPYRIGHT NOTICE
These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



PROJECT LOCATION

CLIENT (OWNER):
FARROW & BALL
UDDENS ESTATE
WIMBORNE DORSET BH21 7NL
CONTACT: NICOLA DYCHE
EMAIL: nicola.dyche@farrow-ball.com
PHONE: +44 7469 854 254

ARCHITECT OF RECORD:
SCOTT T. MARSHALL AIA
398 SOUTH MILL AVENUE
TEMPE, AZ 85281
CONTACT: SCOTT MARSHALL
EMAIL: scott.marshall@amjll.com
PHONE: 602.389.8166

CONSTRUCTION PROJECT MANAGER:
JONES LANG LASALLE
4 PARK PLAZA, SUITE 900
IRVINE, CALIFORNIA 92614
CONTACT: PHIL PALISOU
EMAIL: phil.palisou@amjll.com

ENGINEERING FIRM:
DIALECTIC, INC.
310 WEST 20TH STREET
STE. 200
KANSAS CITY, MO 64108
CONTACT: MICHAEL BLAKE
PHONE: 816.957.9580
E-MAIL: michael.blake@dialecticeng.com

SCOPE OF WORK - TENANT IMPROVEMENT OF EXISTING SPACE:
TENANT IMPROVEMENT / FINISH REMODEL OF AN EXISTING 1.5 STORY COMMERCIAL FACILITY WITH SECOND-LEVEL EXISTING EXTERIOR ROOFTOP TERRACE, LOCATED WITHIN WEST HOLLYWOOD. REMODEL INCLUDES; ADJUSTMENTS TO EXTERIOR BUILDING FACADE AND FACADE COLOR, SIGNAGE, UPDATED FINISHES THROUGHOUT AT ALL INTERIOR SPACES, UPDATED LIGHTING AND ELECTRICAL, PLUMBING FIXTURE UPGRADES AND ADA UPGRADES TO RESTROOMS AND TERRACE ACCESS. ALL EXISTING WALLS, GLAZING AND DOORS SHALL REMAIN IN PLACE. NO EXPANSIONS INCLUDED. INTERIOR WALLS SHALL REMAIN WITH EXCEPTION OF WALLS INDICATED ON FLOOR PLANS. ALL EXISTING STRUCTURAL PROVISIONS SHALL REMAIN AS CONFIGURED. ALL HVAC UNITS SHALL BE INSPECTED, MAINTAINED AND WILL REMAIN IN PLACE - DUCTING, RETURNS AND CONTROLS SHALL BE MODIFIED AS NEEDED TO COORDINATE WITH UPDATED PLAN MODIFICATIONS.

REFER TO MALL RULES AND REGULATIONS AND TOP TEN LIST FOR ALL REQUIREMENTS.
REQUIRED VENDORS FOR BARRICADES, FIRE ALARM, FIRE SPRINKLER SYSTEM AND ROOFING.



Table with 2 columns: V1 VICINITY MAP, NTS 741 N La Cienega Blvd., Los Angeles, Ca

Table with 2 columns: C1 PROJECT TEAM, NTS 741 N La Cienega Blvd.

Table with 2 columns: A1 SCOPE OF WORK

- 1. PROVIDE OCCUPANCY SIGNS CONFORMING TO APPLICABLE BUILDING CODE REQUIREMENTS.
2. PROVIDE ADDITIONAL EXIT SIGNS AND FIRE EXTINGUISHERS IN TYPE, NUMBER AND LOCATION AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
3. DURING CONSTRUCTION, THE GENERAL CONTRACTOR IS TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE SPACE.

Table with 2 columns: A2 FIRE DEPT. NOTES, WHEN REQUIRED

- 1. PROJECT DESCRIPTION: TENANT IMPROVEMENT RETAIL PAINT & WALL PAPER GOODS
2. PROJECT LOCATION: 741 NORTH LA CIENEGA BOULEVARD, LOS ANGELES, CALIFORNIA
3. GOVERNING CODES: ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO, THE REQUIREMENTS OF THE FOLLOWING: AND ANY OTHER STATE AND LOCAL CODES HAVING JURISDICTION.
4. CONSTRUCTION TYPE: V-B NON-SPRINKLERED
5. OCCUPANCY: M (MERCHANTILE)
6. GROSS LEASED PREMISES: 2,040 SQ. FT
7. OCCUPANT LOAD: TENANCY AREA: 2,040 S.F. x 100 = 21
8. EXIT REQUIREMENTS: TWO EXITS REQUIRED WHEN OCCUPANT LOAD IS GREATER THAN 49 OR COMMON PATH OF TRAVEL EXCEEDS 75 FT.
9. EXIT ILLUMINATION: EMERGENCY EXIT ILLUMINATION SHALL BE PROVIDED AS SHOWN ON SHEET E111.
10. MUNICIPAL REVIEW: CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY
11. DEFERRED SUBMITTALS: METAL RAIN SCREEN SHOP DRAWINGS, MILLWORK SHOP DRAWINGS (AS REQUIRED BY AHJ), FIRE SPRINKLER SHOP DRAWINGS (AS REQUIRED BY AHJ), FIRE ALARM SHOP DRAWINGS (AS REQUIRED BY AHJ), ADA INCLINED LIFT - BY MFG.
12. SPECIAL INSPECTIONS: METAL RAIN SCREEN ATTACHMENT, BY INSTALLER ADA INCLINED LIFT STRUCTURE - PROVIDED BY INSTALLER

- A. ALL WORK AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL CODES HAVING JURISDICTION.
B. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE BUILDING MANAGEMENT'S RULES AND REGULATIONS.
C. MODIFICATIONS TO THE BASE BUILDING STRUCTURE, CORE AREAS AND UTILITY SYSTEMS ARE NOT IN THIS CONTRACT, EXCEPT AS NOTED ON THESE DRAWINGS OR AS REQUIRED TO COMPLETE THE WORK INDICATED ON THESE DRAWINGS.
D. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND PAY FOR ALL FEES, CHARGES AND PERMITS REQUIRED AS WELL AS FOR HAULING, RIGGING AND TRANSPORTATION CHARGES.
E. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR (HEREINAFTER REFERRED TO AS THE AGREEMENT) WITH CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY AND OTHER CONDITIONS) DRAWINGS, SPECIFICATIONS, ADDENDA ISSUED PRIOR TO THE EXECUTION OF THE AGREEMENT, OTHER DOCUMENTS LISTED IN THE AGREEMENT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE AGREEMENT.
F. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTORS. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.
G. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND (1) BETWEEN THE ARCHITECT AND CONTRACTOR, (2) BETWEEN THE OWNER AND A SUBCONTRACTOR OR SUB-SUBCONTRACTOR, OR (3) BETWEEN ANY PERSONS OR ENTITIES OTHER THAN THE OWNER AND CONTRACTOR.
H. EXECUTION OF THE CONTRACT BY CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS BECOME FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND SHALL NOTIFY ARCHITECT AND/OR ENGINEER IF A CONDITION EXISTS WHICH PREVENTS THE CONTRACTOR FROM ACCOMPLISHING THE INTENT OF THE DRAWINGS.
I. THE TERM "WORK" MEANS THE CONSTRUCTION AND SERVICES REQUIRED BY THE CONTRACT DOCUMENTS, WHETHER COMPLETED OR PARTIALLY COMPLETED, AND INCLUDES ALL OTHER LABOR, MATERIALS, EQUIPMENT AND SERVICES PROVIDED OR TO BE PROVIDED BY THE CONTRACTOR TO FULFILL THE CONTRACTOR'S OBLIGATIONS. THE WORK MAY CONSTITUTE THE WHOLE OR PART OF THE PROJECT.
J. G.C. SHALL NOT CUT OR DISTURB EXISTING STRUCTURAL SYSTEM. THE G.C. SHALL X-RAY/PACHOMETER SLAB TO DETERMINE IF POST TENSIONED SLAB OR IF DESIGN IS IN CONFLICT WITH EXISTING STRUCTURAL SYSTEMS WHEN THE FOLLOWING OCCURS:
K. STATE ON PLANS THAT THE OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH ALL OF THE FOLLOWING:
L. SEPARATE SUBMETERS SHALL BE INSTALLED IN ANY BUILDING OR NEW SPACE WITHIN A BUILDING THAT IS PROJECTED TO CONSUME MORE THAN 1,000 GAL/DAY.
M. NEW PLUMBING FIXTURES AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATE SPECIFIED IN SECTION 5.303.2. (5.303.2)
N. WEATHER-RESISTANT EXTERIOR WALL AND FOUNDATION ENVELOPE SHALL BE DETAILED IN CONFORMANCE WITH LOS ANGELES BUILDING CODE SECTION 1403.2 AND CALIFORNIA ENERGY CODE SECTION 150. (5.407.1)
O. IF AUTOMATIC LANDSCAPE IRRIGATORS ARE USED, EACH SHALL BE INSTALLED SUCH THAT IT DOESN'T SPRAY ON THE BUILDING. (5.407.2.1)
P. NEW EXTERIOR ENTRIES AND OPENINGS SUBJECT TO FOOT TRAFFIC SHALL BE PROTECTED AGAINST WATER INTRUSION USING FEATURES SUCH AS OVERHANGS, AWNINGS AND/OR RECESSES FOR A COMBINED DEPTH OVER THE ENTRY OF AT LEAST 4 FEET. (5.407.2.2.1)
Q. NONABSORBENT INTERIOR FLOOR AND WALL FINISHES SHALL BE USED WITHIN AT LEAST TWO FEET AROUND AND PERPENDICULAR TO NEW EXTERIOR ENTRIES AND/OR OPENING SUBJECT TO FOOT TRAFFIC. (5.407.2.2.2)
R. EXTERIOR ENTRIES SHALL HAVE FLASHING INTEGRATED WITH THE DRAINAGE PLANE. (5.407.2.2.2)
S. ONLY A CITY OF LOS ANGELES CERTIFIED HAULER WILL BE USED FOR HAULING OF CONSTRUCTION WASTE. (5.408.1)
T. 100% OF EXCAVATED SOIL AND VEGETATION RESULTING FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. (5.408.3)
U. A FINAL REPORT FOR THE TESTING AND ADJUSTING OF ALL NEW SYSTEMS SHALL BE COMPLETED AND PROVIDED TO THE FIELD INSPECTOR PRIOR TO FINAL APPROVAL. THIS REPORT SHALL BE SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES. (5.410.4.4)
V. FOR ALL NEW EQUIPMENT, AN OPERATION & SYSTEMS MANUAL SHALL BE PROVIDED TO THE FIELD INSPECTOR AT THE TIME OF FINAL INSPECTION. (5.410.4.5)
W. ALL NEW GAS FIREPLACES MUST BE DIRECT-VENT, SEALED COMBUSTION TYPE. WOOD BURNING FIREPLACES ARE PROHIBITED PER AQMD RULE 445. (5.503.1, AQMD RULE 445)
X. IF THE NEW HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MERV OF 8. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY. (5.504.1.3)
Y. ALL NEW DUCTS AND OTHER NEW RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEETMETAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (5.504.3)
Z. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 5.504.4.1 - 5.504.4.3. (5.504.4.1 - 5.504.4.3)
AA. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (5.504.4.3.2)
AB. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR MEETS THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
AC. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
AD. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350
AE. NSF/ANSI 140 AT THE GOLD LEVEL
AF. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD (5.504.4.4)
AG. ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (5.504.4.4.1)
AH. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS. (5.504.4.5, 10.504.4.5)
AI. THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (5.504.4.5)
AJ. 80% OF THE TOTAL AREA RECEIVING NEW RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
AK. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE
AL. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM
AM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM
AN. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350 (5.504.4.6)
AO. THE HVAC, REFRIGERATION, AND FIRE SUPPRESSION EQUIPMENT SHALL NOT CONTAIN CFC OR HALONS. (5.508.1)
AP. METAL RAIN SCREEN MFG. TO PROVIDE FINAL INSTALLATION DETAILS / SHOP DRAWINGS, OWNER APPROVED FINISH AND MATERIAL SAMPLES PRIOR TO FABRICATION. INSTALLER TO PROVIDE PRE-FINISHED PANELS AND ATTACHMENT. PROVIDE PACKAGING AND PROTECTION FOR TRANSPORTATION, STORAGE AND INSTALLATION AS NEEDED. ANY DAMAGED PANELS ARE TO BE DISCARDED AND NEW PANELS FABRICATED U.N.O. BY OWNER BEFORE FINAL APPROVAL OF INSTALLATION. ALL WORKMANSHIP AND MATERIALS SHALL BE WARRANTED AGAINST DEFECTS.
AQ. G.C. SHALL PROVIDE ACTUAL MATERIAL AND FINISH SAMPLES FOR APPROVAL BY OWNER AND DESIGNER PRIOR TO FABRICATION, INSTALLATION AND/OR ORDERING.
AR. G.C. SHALL PROVIDE AND PROTECT ALL ON-SITE PRE-FINISHED MATERIALS DURING CONSTRUCTION. ANY DAMAGED MATERIALS AND OR PRODUCTS SHALL BE REPLACED ACCORDINGLY PRIOR TO CERTIFICATES OF FINAL PAYMENTS ARE ISSUED.

Table with 2 columns: DWG. #, DRAWING TITLE. Includes Architecture (A-000 to A-900) and Engineering (E-101 to E-701) drawings.

Table with 2 columns: CBC1 CODE ANALYSIS, A4 GENERAL NOTES

Table with 2 columns: A3 DRAWING INDEX

FARROW & BALL
WEST HOLLYWOOD
741 NORTH LA CIENEGA BOULEVARD
LOS ANGELES, CALIFORNIA

ISSUE DATE:
REVISIONS
FARROW & BALL
Uddens Estate
Wimborne Dorset BH21 7NL
D +44 1202 850 183

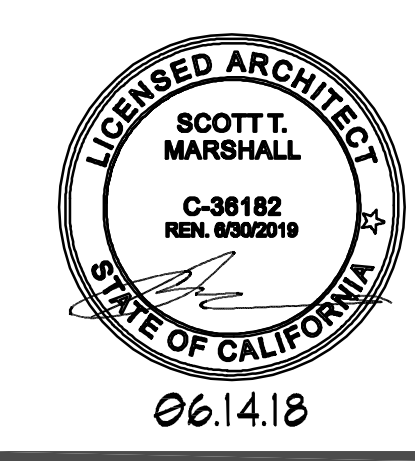
COVERSHEET

ISSUE DATE: 06/14/18
DRAWN BY: SM
PROJECT NO: F&B 301

A000

CONSTRUCTION DOCUMENTS

COPYRIGHT NOTICE
 These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



FARROW & BALL
WEST HOLLYWOOD
 741 NORTH LA CIENEGA BOULEVARD
 LOS ANGELES, CALIFORNIA

ISSUE DATE: _____

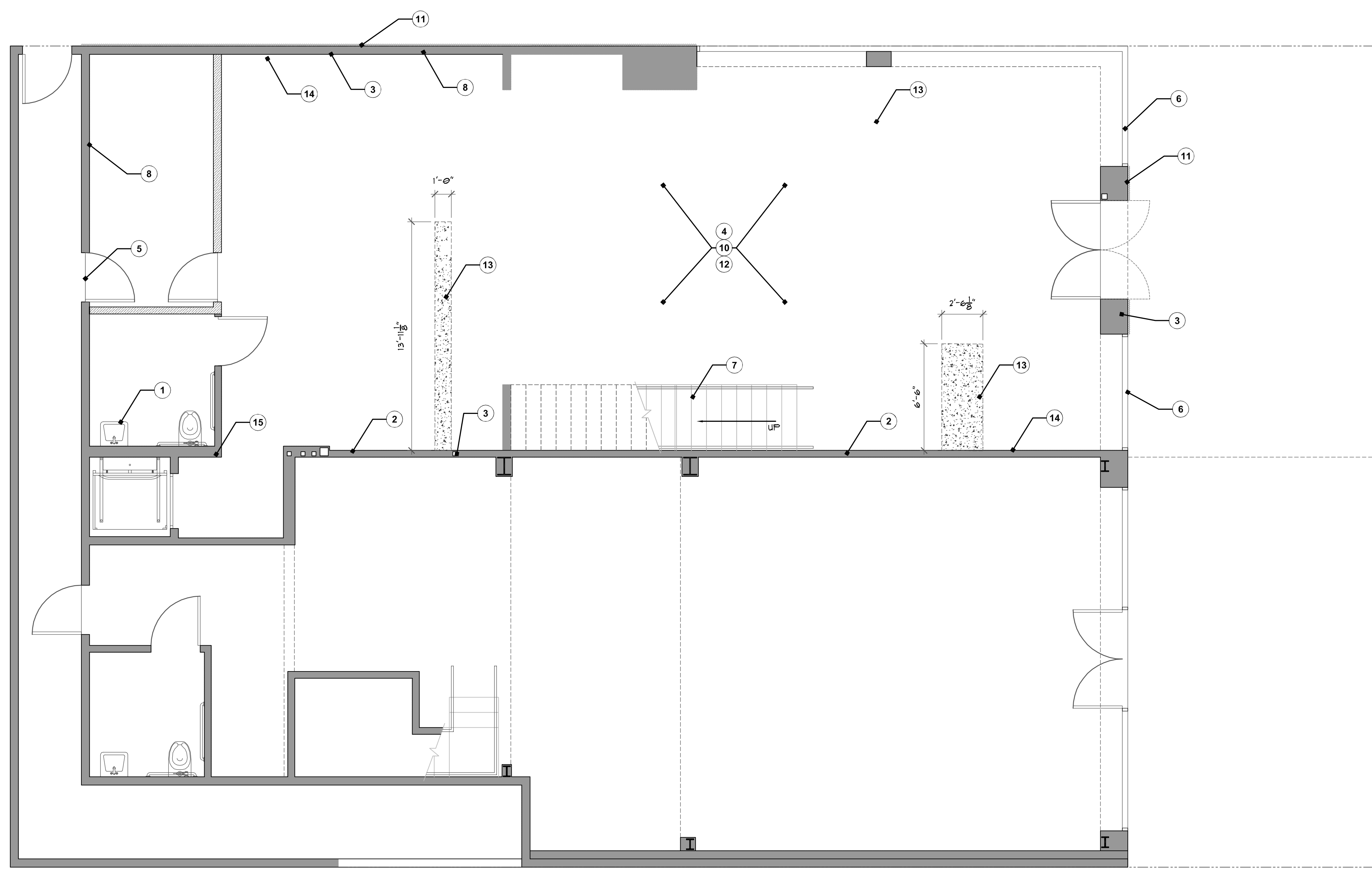
REVISIONS



EXISTING / DEMOLITION FLOOR PLAN

ISSUE DATE: **06/14/18**
 DRAWN BY: **SM**
 PROJECT NO: **F&B 301**

A100



NOTE:
 G.C. SHALL PROVIDE PROTECTION OF PUBLIC ACCESS AREAS AS REQUIRED. COORDINATE WITH JLL PM FOR EXACT LOCATIONS. COORDINATE ALL BARRICADE GRAPHICS WITH JLL PM AND TENTANT PRIOR TO INSTALLATION. G.C. SHALL POST SITE SUPERVISOR AND COMPANY CONTACT AS NEEDED FOR EMERGENCIES.

NOTE:
 SLAB PENETRATIONS / SAW CUTS SHALL BE MADE WITH PROPER LOCATION AND X-RAY IDENTIFICATION OF EXISTING REBAR AND/OR POST TENSION CABLES.

D1 EXISTING CONDITIONS AND DEMOLITION PLAN
 1/4" = 1'-0"

- | | |
|---|--|
| <ul style="list-style-type: none"> 1 G.C. TO REMOVE EXISTING PLUMBING FIXTURES, ANGLE STOPS AND DAMAGED LINES AS NEEDED PER DIRECTION OF JLL PM. 2 EXISTING DEMISING WALL TO REMAIN. PATCH AND REPAIR AS REQUIRED. 3 EXISTING MALL CONSTRUCTION TO REMAIN. GC TO VERIFY CONDITION AND ALERT PM IF CONDITION WARRANT REPAIR. 4 EXISTING FLOOR FINISHES TO BE REMOVED. PREPARE EXISTING CONCRETE FLOOR SURFACE FOR INSTALLATION OF NEW FLOORING MATERIALS AS INDICATED IN THESE PLANS. 5 EXISTING SERVICE DOOR TO REMAIN. 6 CLEAN AND REPAIR EXISTING WINDOW / STOREFRONT SYSTEM, PAINT AS DIRECTED BY OWNER 7 REPAIR AND REPLACE DAMAGED STAIR TREADS AS REQUIRED. 8 EXISTING SYSTEM WALL TO REMAIN. 9 PORTION OF EXISTING SYSTEM WALL TO BE REMOVED. 10 EXISTING LIGHTING, ELECTRICAL AND DATA TO BE REMOVED AS INDICATED, COORDINATE WITH PM AS NEEDED. 11 REMOVED ANY DAMAGED PORTIONS OF EXTERIOR COATINGS AS NEEDED, PATCH AND REPAIR PER PM'S DIRECTION 12 ALL LIGHTING, EMERGENCY LIGHTING AND EXIT SIGNS TO BE REMOVED IN THEIR ENTIRETY FROM THE SALES AREA ONLY. SEE SHEET A-300 FOR NEW LIGHTING LAYOUT AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION. | <ul style="list-style-type: none"> 13 SAW CUT AND REMOVE EXISTING SLAB FOR TRENCH AS REQUIRED TO PROVIDE POWER AND/OR DATA TO FLOOR FIXTURES. GC TO SCHEDULE AND COORDINATE ALL NECESSARY INSPECTIONS AS REQUIRED. SLAB PENETRATIONS SHALL BE MADE WITH PROPER LOCATION AND X-RAY IDENTIFICATION OF EXISTING REBAR AND/OR POST TENSION CABLES. COORDINATE STUB-UP WITH TRENCH DEMOLITION. COORDINATE STUB-UP QUANTITY FIXTURE TYPE. 14 EXISTING WALL BASE TO BE REMOVED THROUGHOUT. PATCH/REPAIR DRYWALL AS NEEDED AND PREPARE TO RECEIVE NEW WALL BASE AS SPECIFIED IN THESE PLANS. SEE FLOOR PLANS A200 - A201. 15 EXISTING PARTITION WALL TO REMAIN. PATCH AND REPAIR AS NEEDED TO RECEIVE NEW FINISHES AS SPECIFIED IN THESE PLANS. SEE INTERIOR ELEVATIONS SHEETS; FINISH LEVEL AND FINISH PER OWNER, REFER TO SHEET A200. |
|---|--|

- 1. CHECK ELECTRICAL DRAWINGS PRIOR TO DEMOLITION WITH REGARD TO UTILIZING ANY EXISTING WIRING, LINES COMPONENTS ETC.
- 2. PROVIDE TRASH CONTAINER AS REQUIRED AT LOCATION TO SUIT LANDLORD. REMOVE DEBRIS DAILY AND HAUL FROM THE SITE AT TIME TO SUIT LANDLORD.
- 3. NOTIFY ARCHITECTS IMMEDIATELY OF ANY DISCREPANCIES OR UNFORESEEN ITEMS NOT SHOWN ON DRAWINGS.
- 4. ALL REMOVED MATERIAL, NOT OTHERWISE DESIGNATED, AND ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR, WHO SHALL REMOVE IT FROM THE SITE.
- 5. G.C. SHALL NOT DEMOLISH ANY LOAD BEARING WALLS OR CONSTRUCTION THAT WILL COMPROMISE THE STRUCTURAL INTEGRITY OF THE EXISTING SPACE. G.C. TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY STRUCTURAL CONCERNS DURING CONSTRUCTION.
- 6. REMOVE EXISTING ACOUSTIC CEILING TILES AND LIGHT FIXTURES AS SCHEDULED FOR DEMOLITION. MAINTAIN EXISTING CEILING GRID AND WIRE HANGERS - REPAIR AS NEEDED.
- 7. REMOVE EXISTING ELECTRICAL DEVICES, OUTLETS, TELEPHONE AND DATA JACKS IN CASEWORK SCHEDULED FOR DEMOLITION. MODIFY EXISTING WIRING AS REQUIRED BY NEW CONSTRUCTION OR, IF NOT REQUIRED, TERMINATE AND CAP OFF AT NEAREST PANEL.
- 8. REMOVE EXISTING FLOOR FINISHES SCHEDULED FOR REMOVAL. NEWLY REPLACED OR LIKE-NEW FINISHES MAY REMAIN AT THE DISCRETION OF THE JLL PM. G.C. TO VERIFY PRIOR TO REMOVAL.
- 9. REMOVE ALL CONSTRUCTION DEBRIS FROM AREA. REPAIR ALL ADJACENT DAMAGED SURFACES. AS NECESSARY, PREPARE ALL DAMAGED SURFACES FOR FINISHES AS SCHEDULED OR REFINISH TO MATCH EXISTING FINISH. REPLACE DAMAGED CEILING TILES; REPAIR OR REPLACE DAMAGED CEILING GRID.
- 10. IN THE CASE THAT THE EXISTING, CABLE LINE, PHONE LINE & BLOCK, T-1 LINE AND DATA CABLING ARE PRESENT, G.C. SHALL SALVAGE AND REWORK TO FACILITATE NEW INSTALLATION
- 11. BARRICADE GRAPHICS SHALL BE PROVIDED BY OWNER UNLESS OTHERWISE REQUESTED. G.C. SHALL ENGAGE SIGN VENDOR FOR BARRICADE GRAPHICS AS REQUIRED.
- 12. REPLACE OR RELOCATE, IN ACCORDANCE WITH ALL LOCAL CODES, ALL FIRE SUPPRESSION AND FIRE ALARM EQUIPMENT DISTURBED BY DEMOLITION WORK. MAINTAIN INTEGRITY OF ALL FIRE SUPPRESSION AND FIRE ALARM SYSTEMS.
- 13. MAINTAIN EXISTING EXITS. EMERGENCY LIGHTING AND ILLUMINATION MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION AS REQUIRED BY JLL AND ALL GOVERNING CODES.

- = EXISTING PARTITION, PATCH AND REPAIR TO "AS-NEW" CONDITION AS NECESSARY.
- = EXISTING ITEM IS TO BE REMOVED.
- = EXISTING ITEM TO REMAIN IN PLACE. SEE SHEET A-2.
- = EXISTING ITEM TO BE TEMPORARILY RELOCATED. SEE SHEET A-1.1 FOR GENERAL REFERENCE.

A1 KEYED NOTES

A7 GENERAL NOTES

A11 SHEET SYMBOLS

NOT ALL USED AT THIS LOCATION

COPYRIGHT NOTICE:

These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



06.14.18

FARROW & BALL WEST HOLLYWOOD

741 NORTH LA CIENEGA BOULEVARD
LOS ANGELES, CALIFORNIA

ISSUE DATE:

REVISIONS

NO.	DESCRIPTION



Farrow & Ball
Uddens Estate
Wimborne Dorset BH21 7NL
D-44 1202 850 183

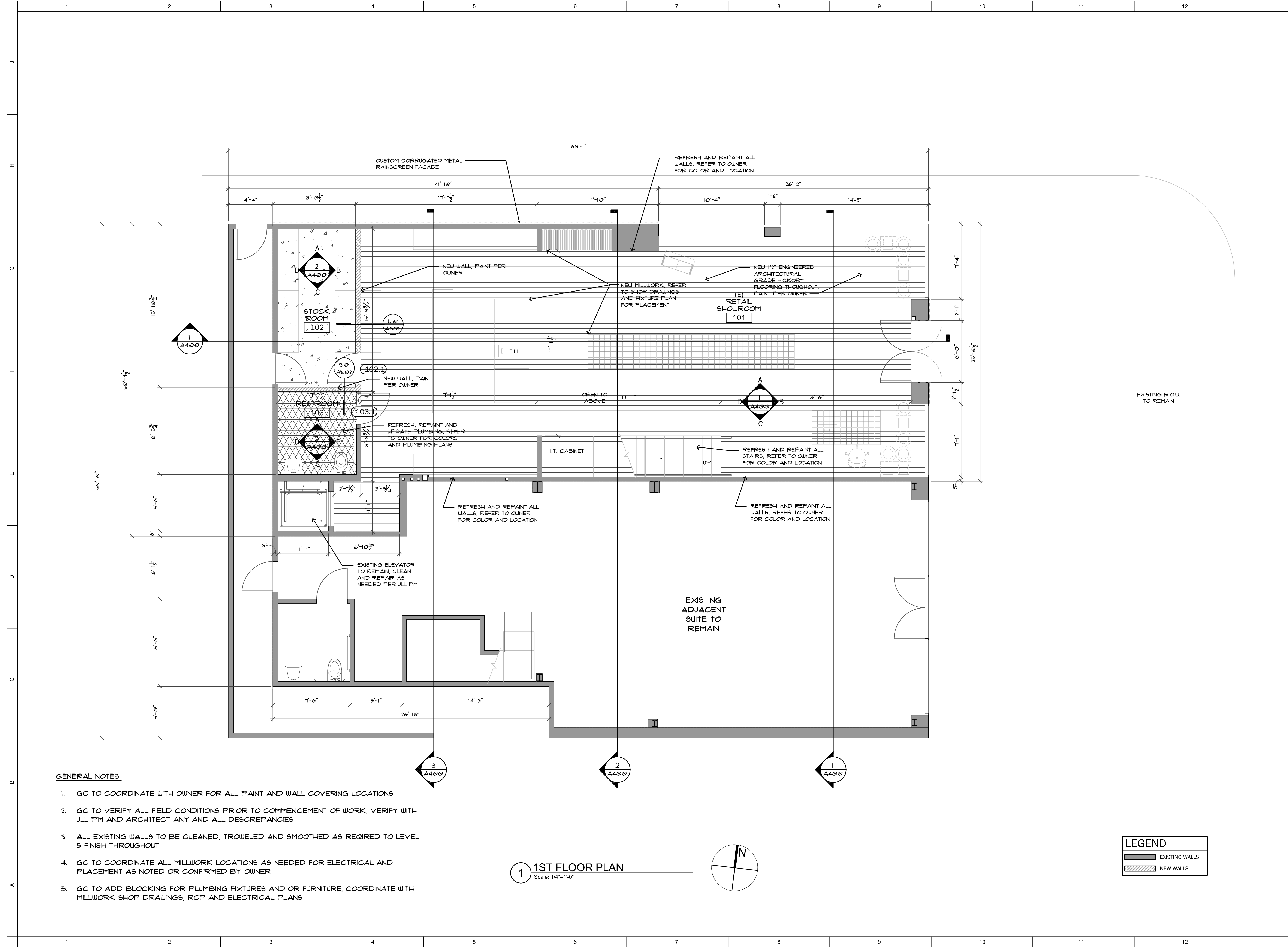
LEVEL ONE FLOOR / FINISH PLAN

ISSUE DATE: 06/14/18

DRAWN BY: SM

PROJECT NO: F&B 301

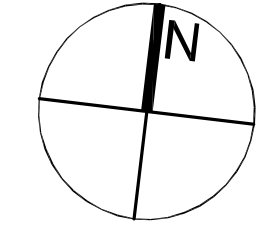
A200



GENERAL NOTES:

- GC TO COORDINATE WITH OWNER FOR ALL PAINT AND WALL COVERING LOCATIONS
- GC TO VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK, VERIFY WITH JLL FM AND ARCHITECT ANY AND ALL DISCREPANCIES
- ALL EXISTING WALLS TO BE CLEANED, TROWELED AND SMOOTHED AS REQUIRED TO LEVEL 5 FINISH THROUGHOUT
- GC TO COORDINATE ALL MILLWORK LOCATIONS AS NEEDED FOR ELECTRICAL AND PLACEMENT AS NOTED OR CONFIRMED BY OWNER
- GC TO ADD BLOCKING FOR PLUMBING FIXTURES AND OR FURNITURE, COORDINATE WITH MILLWORK SHOP DRAWINGS, RCP AND ELECTRICAL PLANS

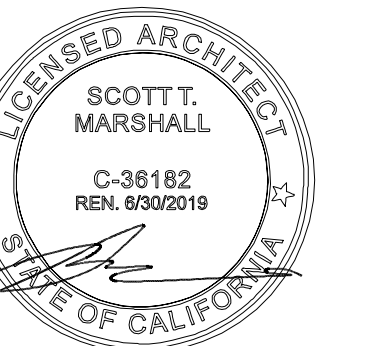
1 1ST FLOOR PLAN
Scale: 1/4"=1'-0"



LEGEND

(Solid grey line)	EXISTING WALLS
(Dashed grey line)	NEW WALLS

COPYRIGHT NOTICE
These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



06.14.18

FARROW & BALL WEST HOLLYWOOD

741 NORTH LA CIENEGA BOULEVARD
LOS ANGELES, CALIFORNIA

ISSUE DATE:

REVISIONS

△



Farrow & Ball
Uddens Estate
Wimborne Dorset BH21 7NL
D +44 1202 850 183

LEVEL TWO FLOOR / FIXTURE PLAN

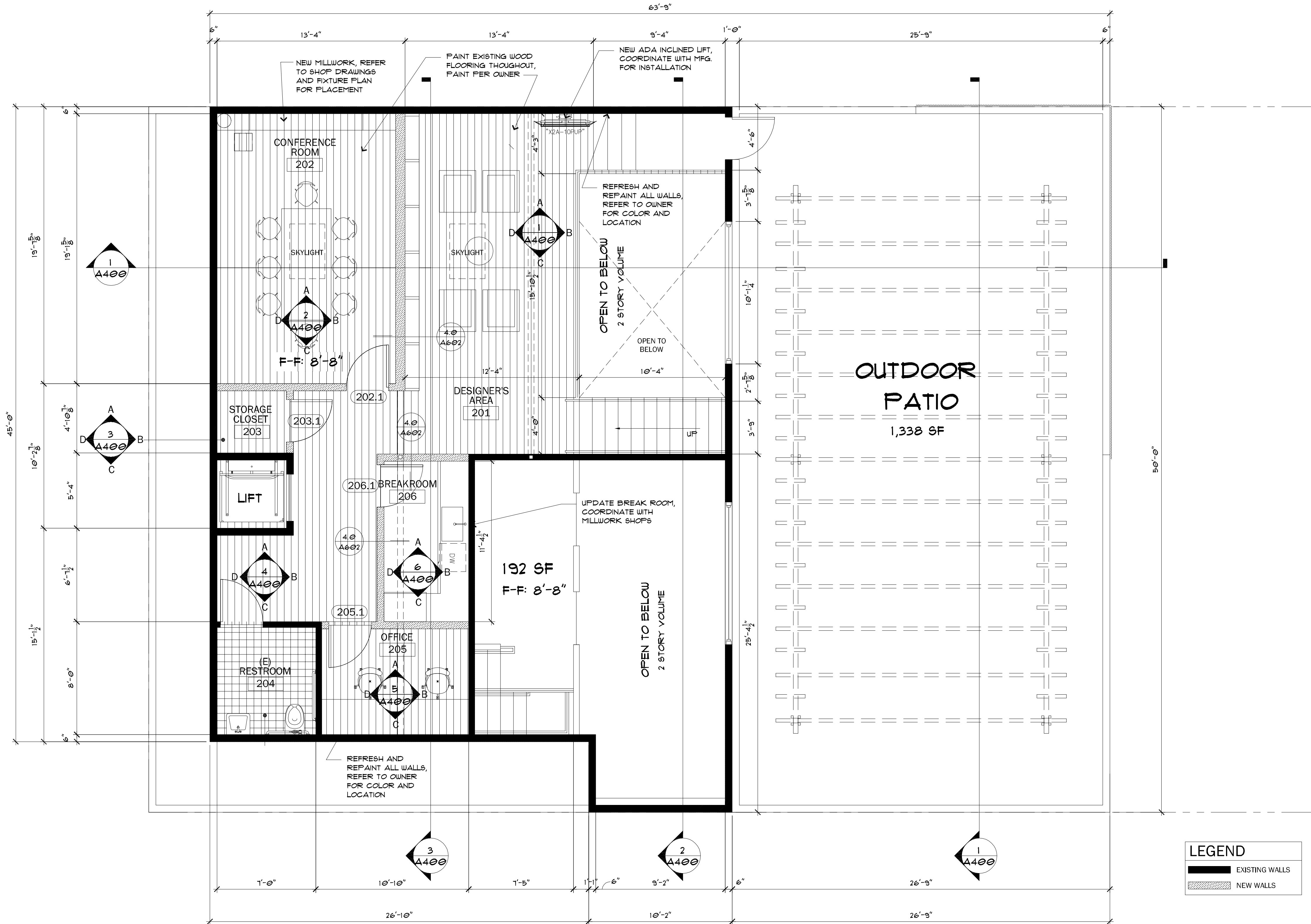
ISSUE DATE: 06/14/18

DRAWN BY: SM

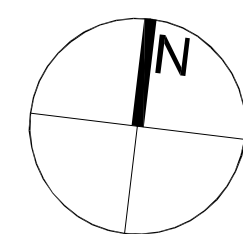
PROJECT NO: F&B 301

A201

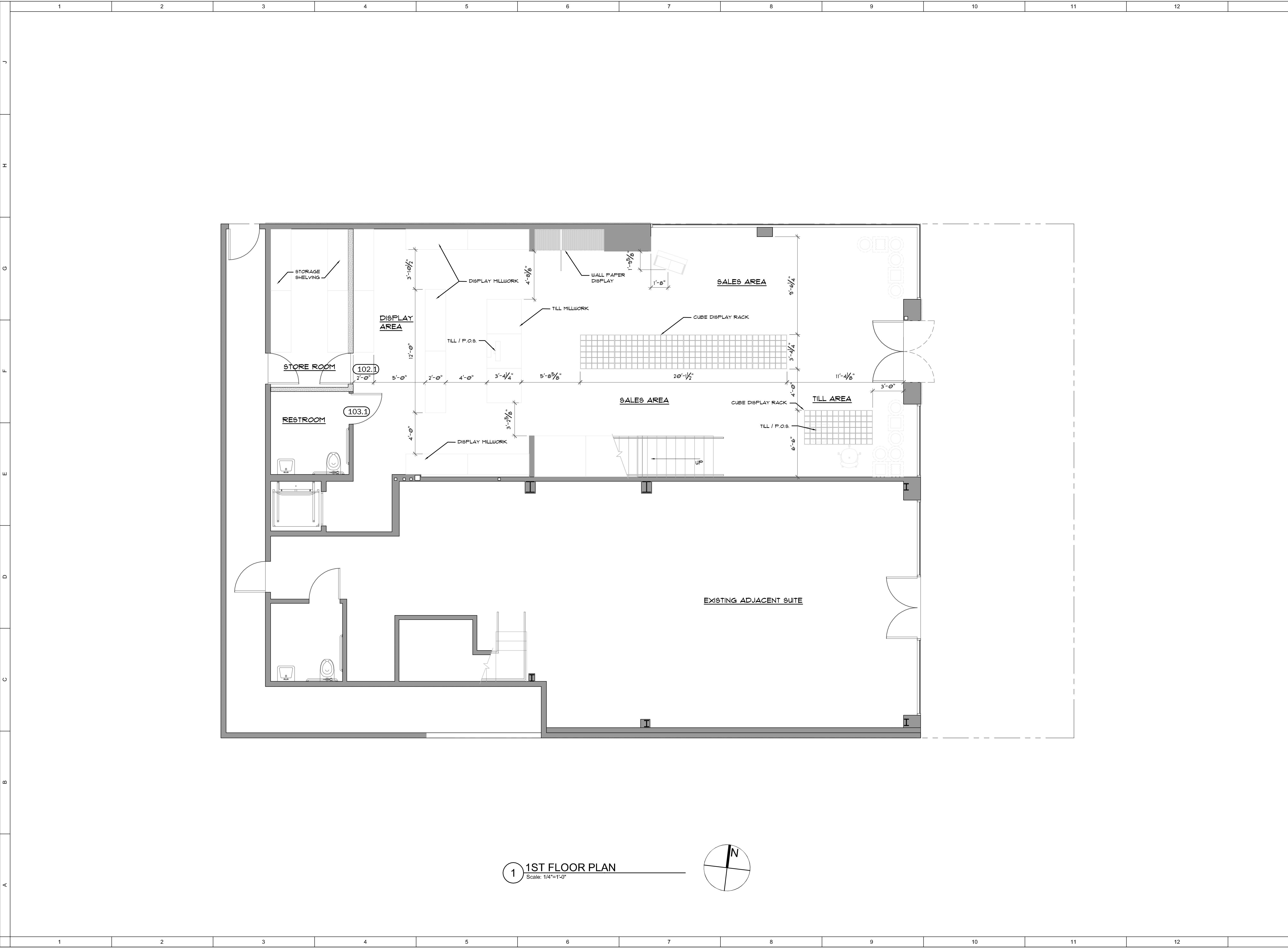
CONSTRUCTION DOCUMENTS



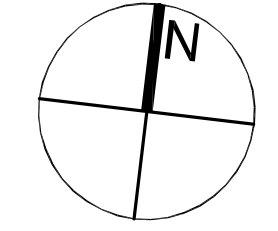
2 2ND FLOOR PLAN
Scale: 1/4"=1'-0"



FILE NAME:
 DRAWN DATE:
 SAVER DATE:

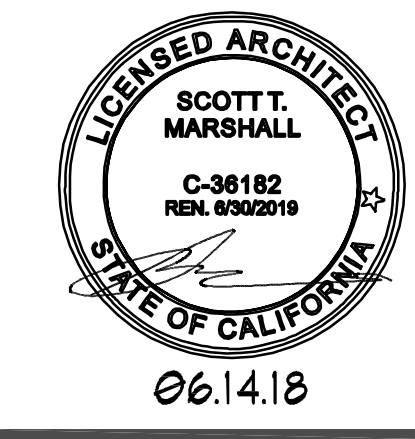


1 1ST FLOOR PLAN
 Scale: 1/4"=1'-0"



JLL Architecture, LLC
 200 East Randolph Drive
 Chicago, IL 60601
 398 S. Mill Avenue, # 201
 Tempe, AZ 85281
 tel +1 480 626 6304
 fax +1 480 401 3602

COPYRIGHT NOTICE:
 These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



FARROW & BALL
WEST HOLLYWOOD
 741 NORTH LA CIENEGA BOULEVARD
 LOS ANGELES, CALIFORNIA

ISSUE DATE: _____

REVISIONS

NO.	DATE	DESCRIPTION
1		



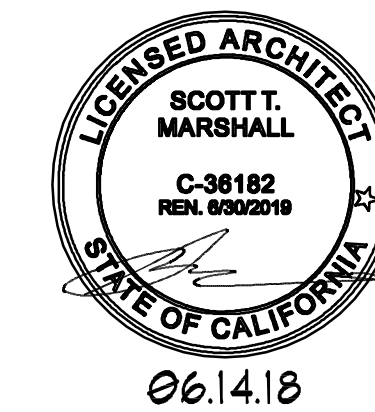
Farrow & Ball
 Uddens Estate
 Wimborne Dorset BH21 7NL
 D +44 1202 850 183

LEVEL ONE
FURNITURE
FIXTURE PLAN

ISSUE DATE: **06/06/18**
 DRAWN BY: **SM**
 PROJECT NO: **F&B 301**

A203

COPYRIGHT NOTICE:
These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in possession of construction, building seizure, and/or monetary liability.



FARROW & BALL WEST HOLLYWOOD

741 NORTH LA CIENEGA BOULEVARD
LOS ANGELES, CALIFORNIA

ISSUE DATE:

REVISIONS

1



Farrow & Ball
Uddens Estate
Wimbome Dorset BH21 7NL
D -44 1202 850 183

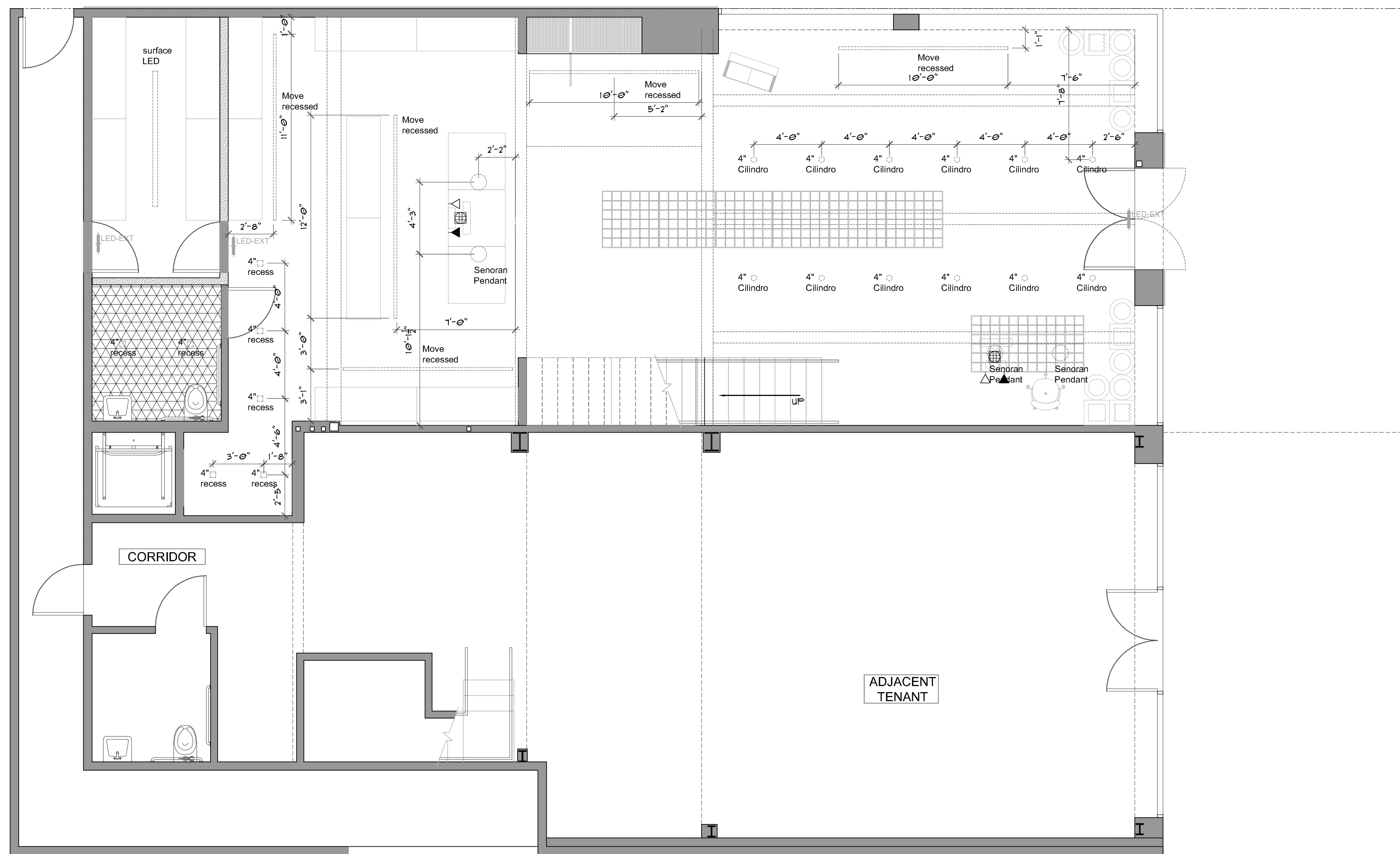
LEVEL ONE REFLECTED CEILING PLAN

ISSUE DATE: 06/14/18

DRAWN BY: SM

PROJECT NO: F&B 301

A300



D1 CEILING PLAN

1/4" = 1'-0"

CEILING #	CEILING TYPE	FLAME SPREAD RATING	SYMBOL	DESCRIPTION
CL-1	SALES AREA - GYP. BD.; GYP. BD. CEILING ON METAL STUDS. TAPE JOINTS AND SAND SMOOTH TO A LEVEL 5 FINISH. PAINT P-2.	CLASS A	4" recess	SINGLE SQUARE TRIM DOWNLIGHT LED FLUSH MOUNT FIXTURE
CL-2	GENERAL CEILING - GYP. BD.; GYP. BD. CEILING ON METAL STUDS. TAPE JOINTS AND SAND SMOOTH TO A LEVEL 4 FINISH. PAINT P-2.	CLASS A	4" Cilindro	SINGLE HEAD PENDANT LIGHT, REFER TO ELECTRICAL
CL-3	ALL SOFFITS - GYP. BD.; 5/8" TYPE 'X' GYPBOARD BASE OVER METAL STUDS. TAPE JOINTS AND SAND SMOOTH TO A LEVEL 5 FINISH. PAINT P-2.	CLASS A	Senoran Pendant	SINGLE HEAD LED PENDANT ARCHITECTURAL FIXTURE
CL-4	BACK OF HOUSE - GYP. BD.; GYP. BD. CEILING ON METAL STUDS. PATCH AND REPAIR AS REQUIRED. TAPE JOINTS AND SAND SMOOTH TO A LEVEL 4 FINISH. PAINT P-2.	CLASS A	GRID PENDANT	LED PENDANT ARCHITECTURAL LIGHTING, REFER TO ELECTRICAL
			Move recessed	MULTI-HEAD ADJUSTABLE GIMBAL SNAP-IN LED FIXTURES MOUNTED WITHIN RECESS TRACK
			surface LED	SURFACE MOUNT LED, REFER TO ELECTRICAL
			LED-EXT	NORA LIGHTING WHITE LED EXIT SIGN WITH BATTERY BACKUP
				CEILING OUTLET

B1 CEILING SCHEDULE

NOT ALL USED AT THIS LOCATION

A4 SYMBOL LEGEND - REFER TO ELEC SHTS

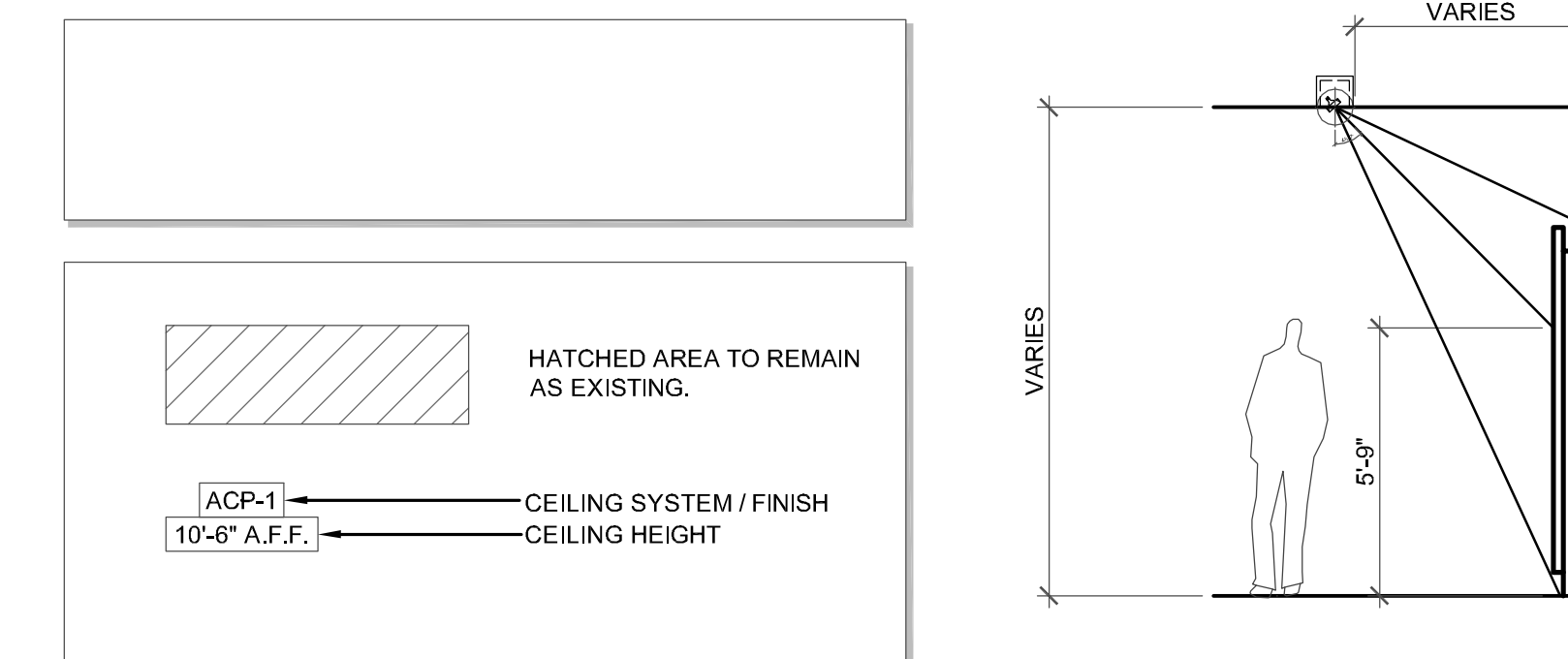
NOT ALL USED AT THIS LOCATION

B7 SHEET NOTES

NOT ALL USED AT THIS LOCATION

- EXISTING DROPPED (CLOUD) SOFFITS GRID/FRAME TO RECEIVE NEW P-2 FINISH. EXISTING TILES TO BE REPLACED AS INDICATED IN THESE PLANS.
- REMOVAL OF ANY CEILING EQUIPMENT (TYCO, FIRE ALARM, SPRINKLER, ETC.) MUST BE PERFORMED BY THE REQUIRED VENDORS.
- OWNERS VENDOR TO RELOCATE SECURITY CAMERAS AS REQ'D PER NEW FIXTURE LAYOUT. COORDINATE WITH JLL PROJECT MANAGER.
- GC TO PROVIDE 1/2" PLYWOOD BLOCKING ATTACHED TO STRUCTURE OR STUDS ABOVE CEILING. FIXTURE INSTALLER TO PROVIDE ATTACHMENT HARDWARE TO SECURE DIGITAL MONITOR DISPLAY FIXTURE TO BLOCKING FOR STABILIZATION.
- G.C. TO REPLACE HVAC AIR FILTERS AFTER CONSTRUCTION AND CLEANUP IS COMPLETE IF TRENCHING WAS PERFORMED.

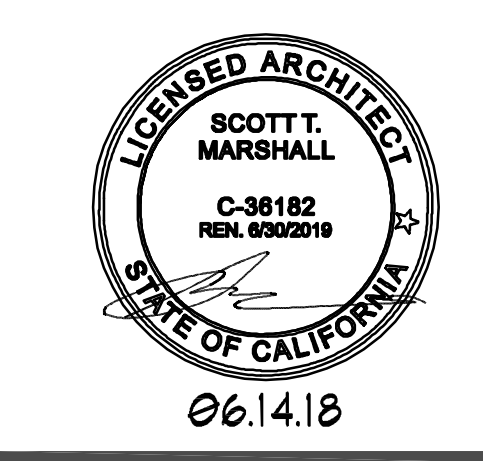
- LIGHTING AND ELECTRICAL EQUIPMENT TO BE COORDINATED WITH JLL PM AS REQUIRED.
- RELOCATE ALL FIRE STROBES AND OTHER CEILING MOUNTED DEVICES AS REQUIRED PER LOCAL CODE. COORDINATE WITH SOLE SOURCE VENDOR (IF APPLICABLE), JLL PM, AND/OR ARCHITECT
- REFER TO ELECTRICAL DRAWINGS, MANUFACTURER INSTRUCTIONS, AND FIXTURE INSTALLATION GUIDE FOR FIXTURE TYPES AND INSTALLATION INSTRUCTIONS.
- GC TO ADJUST PERIMETER ADJUSTABLE LIGHTS TO BE TARGETED BETWEEN 5'-9" TO 6'-3" VERTICALLY FROM FLOOR TO WASH RETAIL WALL DISPLAYS.



A9 GENERAL NOTES

NOT ALL USED AT THIS LOCATION

COPYRIGHT NOTICE
 These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



FARROW & BALL
WEST HOLLYWOOD
 741 NORTH LA CIENEGA BOULEVARD
 LOS ANGELES, CALIFORNIA

ISSUE DATE: _____

REVISIONS



LEVEL TWO REFLECTED CEILING PLAN

ISSUE DATE: **06/06/18**
 DRAWN BY: **SM**
 PROJECT NO: **F&B 301**

A301



LEGEND

	EXISTING WALLS
	NEW WALLS

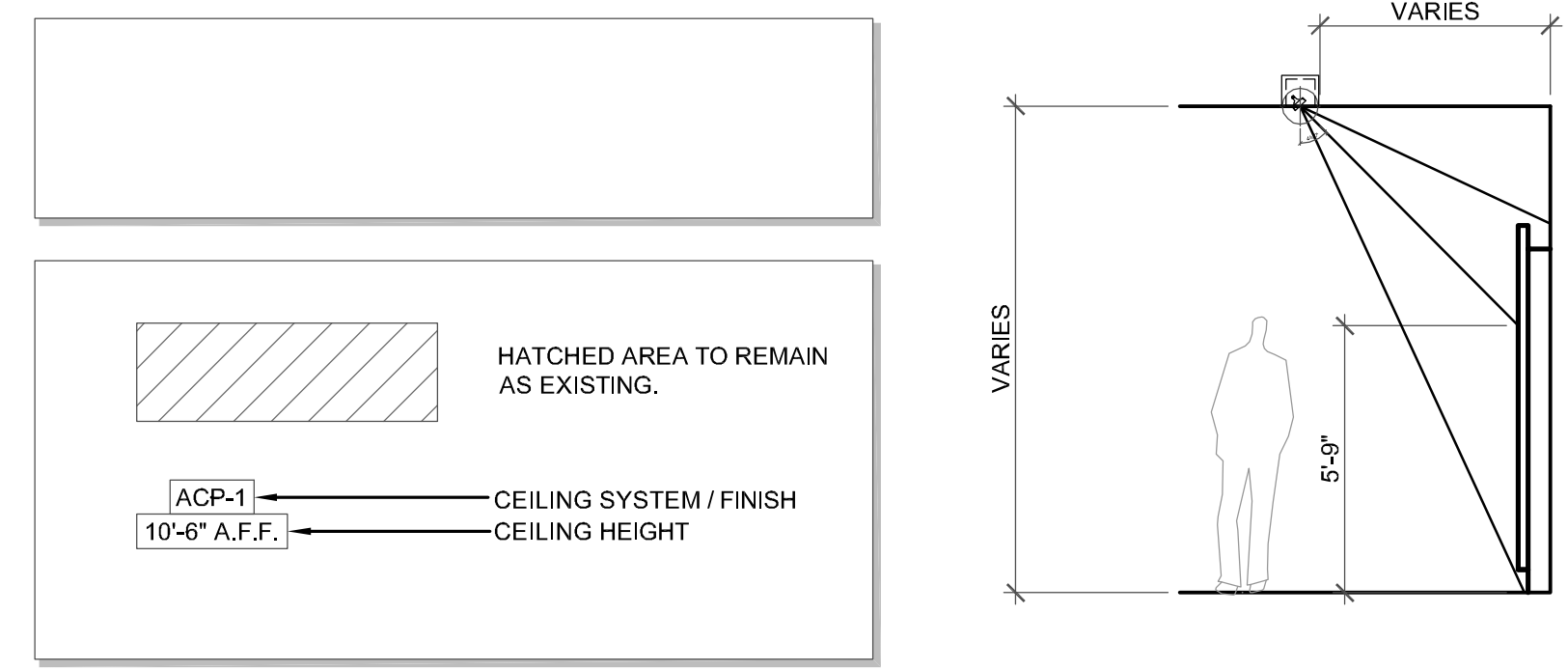
D1 CEILING PLAN

1/4" = 1'-0"

CEILING #	CEILING TYPE	FLAME SPREAD RATING	SYMBOL	DESCRIPTION
CL-1	SALES AREA - GYP. BD. GYP. BD. CEILING ON METAL STUDS. TAPE JOINTS AND SAND SMOOTH TO A LEVEL 5 FINISH. PAINT P-2.	CLASS A	4" recess	SINGLE SQUARE TRIM DOWNLIGHT LED FLUSH MOUNT FIXTURE
CL-2	GENERAL CEILING - GYP. BD. GYP. BD. CEILING ON METAL STUDS. TAPE JOINTS AND SAND SMOOTH TO A LEVEL 4 FINISH. PAINT P-2.	CLASS A	4" Cilindro	SINGLE HEAD PENDANT LIGHT, REFER TO ELECTRICAL
CL-3	ALL SOFFITS - GYP. BD. 5/8" TYPE 'X' GYPBOARD BASE OVER METAL STUDS. TAPE JOINTS AND SAND SMOOTH TO A LEVEL 5 FINISH. PAINT P-2.	CLASS A	Senoran Pendant	SINGLE HEAD LED PENDANT ARCHITECTURAL FIXTURE
CL-4	BACK OF HOUSE - GYP. BD. GYP. BD. CEILING ON METAL STUDS. PATCH AND REPAIR AS REQUIRED. TAPE JOINTS AND SAND SMOOTH TO A LEVEL 4 FINISH. PAINT P-2.	CLASS A	GRID PENDANT	LED PENDANT ARCHITECTURAL LIGHTING, REFER TO ELECTRICAL
			Move recessed	MULTI-HEAD ADJUSTABLE GIMBAL SNAP-IN LED FIXTURES MOUNTED WITHIN RECESS TRACK
			surface LED	SURFACE MOUNT LED, REFER TO ELECTRICAL
			LED-EXT	NORA LIGHTING WHITE LED EXIT SIGN WITH BATTERY BACKUP
				CEILING OUTLET

- EXISTING DROPPED (CLOUD) SOFFITS GRID/FRAME TO RECEIVE NEW P-2 FINISH. EXISTING TILES TO BE REPLACED AS INDICATED IN THESE PLANS.
- REMOVAL OF ANY CEILING EQUIPMENT (TYCO, FIRE ALARM, SPRINKLER, ETC.) MUST BE PERFORMED BY THE REQUIRED VENDORS.
- OWNERS VENDOR TO RELOCATE SECURITY CAMERAS AS REQ'D PER NEW FIXTURE LAYOUT. COORDINATE WITH JLL PROJECT MANAGER.
- GC TO PROVIDE 1/2" PLYWOOD BLOCKING ATTACHED TO STRUCTURE OR STUDS ABOVE CEILING. FIXTURE INSTALLER TO PROVIDE ATTACHMENT HARDWARE TO SECURE DIGITAL MONITOR DISPLAY FIXTURE TO BLOCKING FOR STABILIZATION.
- G.C. TO REPLACE HVAC AIR FILTERS AFTER CONSTRUCTION AND CLEANUP IS COMPLETE IF TRENCHING WAS PERFORMED.

- LIGHTING AND ELECTRICAL EQUIPMENT TO BE COORDINATED WITH JLL PM AS REQUIRED.
- RELOCATE ALL FIRE STROBES AND OTHER CEILING MOUNTED DEVICES AS REQUIRED PER LOCAL CODE. COORDINATE WITH SOLE SOURCE VENDOR (IF APPLICABLE), JLL PM, AND/OR ARCHITECT
- REFER TO ELECTRICAL DRAWINGS, MANUFACTURER INSTRUCTIONS, AND FIXTURE INSTALLATION GUIDE FOR FIXTURE TYPES AND INSTALLATION INSTRUCTIONS.
- GC TO ADJUST PERIMETER ADJUSTABLE LIGHTS TO BE TARGETED BETWEEN 5'-9" TO 6'-3" VERTICALLY FROM FLOOR TO WASH RETAIL WALL DISPLAYS.



B1 CEILING SCHEDULE

NOT ALL USED AT THIS LOCATION

A4 SYMBOL LEGEND - REFER TO ELEC SHTS

NOT ALL USED AT THIS LOCATION

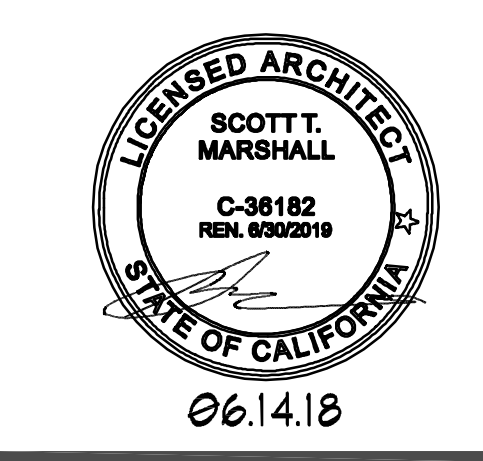
B7 SHEET NOTES

NOT ALL USED AT THIS LOCATION

A9 GENERAL NOTES

NOT ALL USED AT THIS LOCATION

COPYRIGHT NOTICE:
 These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.

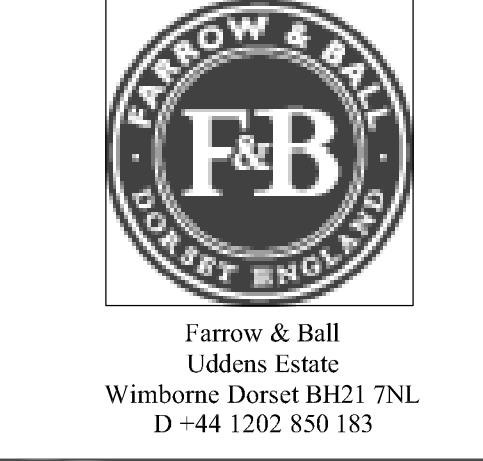


FARROW & BALL
WEST HOLLYWOOD
 741 NORTH LA CIENEGA BOULEVARD
 LOS ANGELES, CALIFORNIA

ISSUE DATE: _____

REVISIONS

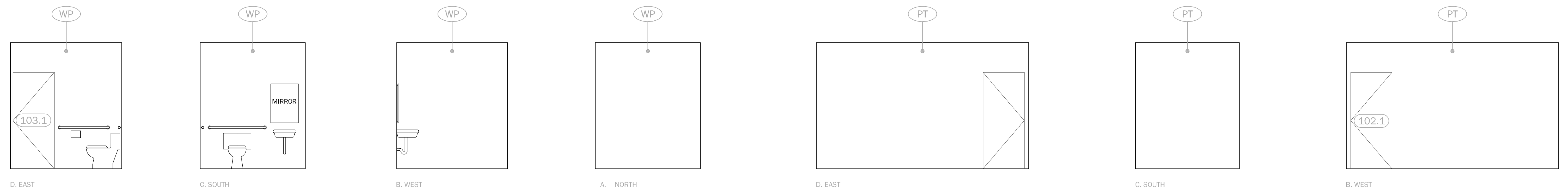
1	



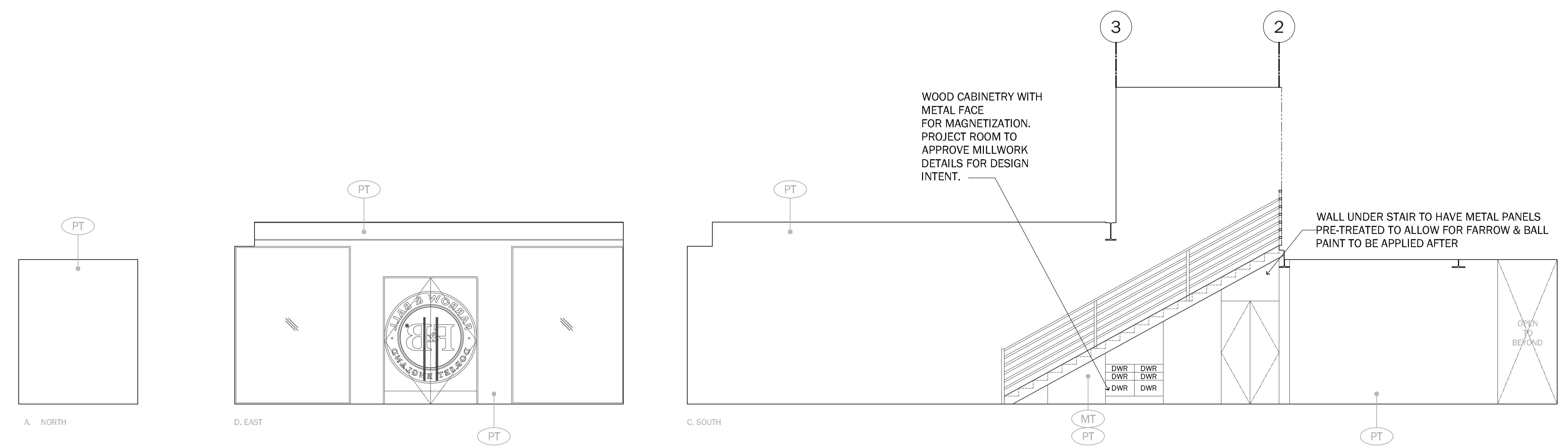
INTERIOR ELEVATIONS

ISSUE DATE: **06/14/18**
 DRAWN BY: **SM**
 PROJECT NO: **F&B 301**

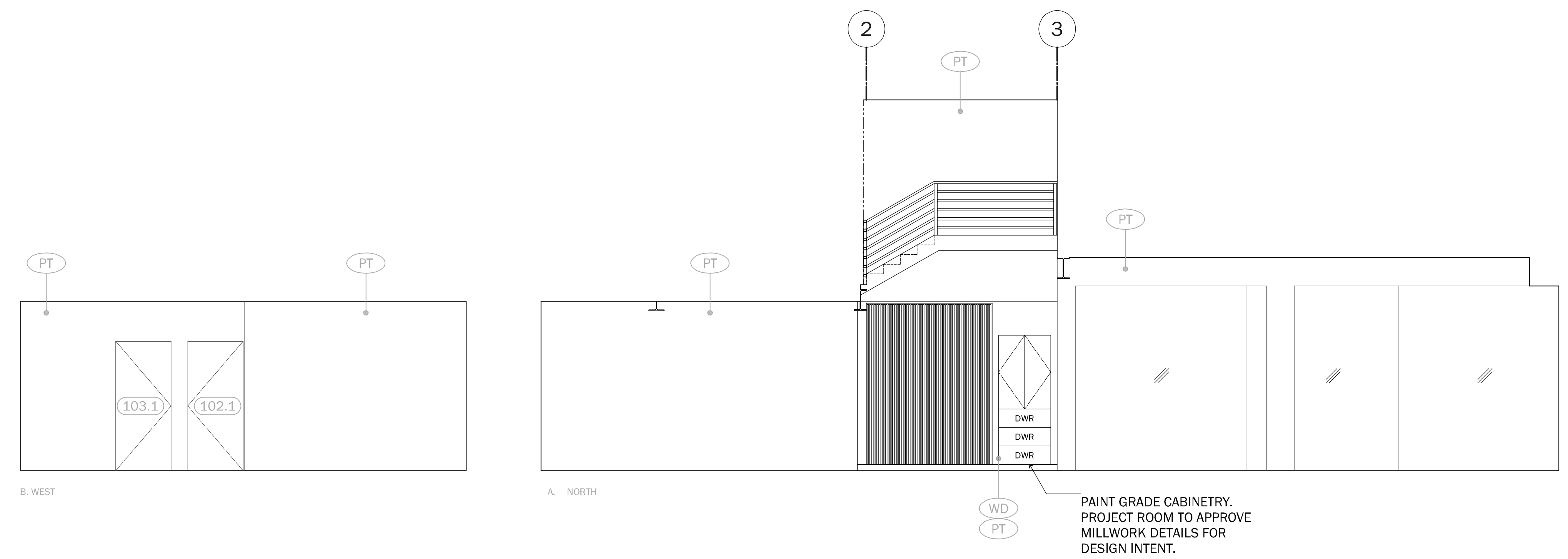
A400



A1 RESTROOM ELEVATIONS



A2 STOCKROOM ELEVATIONS

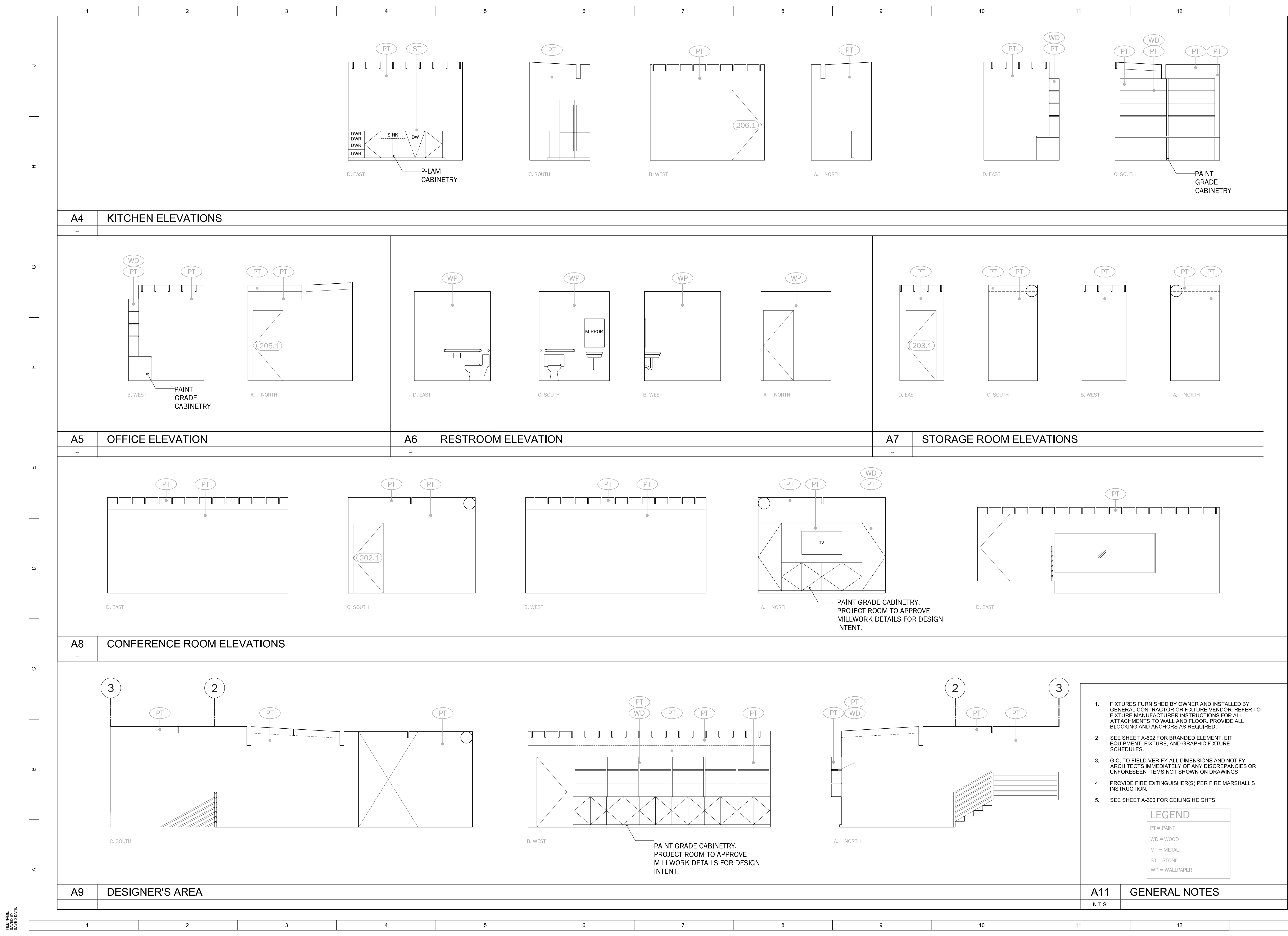


A3 RETAIL SHOWROOM ELEVATIONS

- A11 GENERAL NOTES**
1. FIXTURES FURNISHED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR OR FIXTURE VENDOR. REFER TO FIXTURE MANUFACTURER INSTRUCTIONS FOR ALL ATTACHMENTS TO WALL AND FLOOR. PROVIDE ALL BLOCKING AND ANCHORS AS REQUIRED.
 2. SEE SHEET A-602 FOR BRANDED ELEMENT, EIT, EQUIPMENT, FIXTURE, AND GRAPHIC FIXTURE SCHEDULES.
 3. G.C. TO FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECTS IMMEDIATELY OF ANY DISCREPANCIES OR UNFORESEEN ITEMS NOT SHOWN ON DRAWINGS.
 4. PROVIDE FIRE EXTINGUISHER(S) PER FIRE MARSHALL'S INSTRUCTION.
 5. SEE SHEET A-300 FOR CEILING HEIGHTS.

LEGEND

PT	=	PAINT
WD	=	WOOD
MT	=	METAL
ST	=	STONE
WP	=	WALLPAPER



JLL Architecture, LLC
 200 East Randolph Drive
 Chicago, IL 60601
 398 S. Mill Avenue, # 201
 Tempe, AZ 85281
 tel +1 480 626 6304
 fax +1 480 401 3602

COPYRIGHT NOTICE
 These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



FARROW & BALL
WEST HOLLYWOOD
 741 NORTH LA CIENEGA BOULEVARD
 LOS ANGELES, CALIFORNIA

ISSUE DATE:

REVISIONS



Farrow & Ball
 Uddens Estate
 Wimborne Dorset BH21 7NL
 D +44 1202 850 183

INTERIOR ELEVATIONS

ISSUE DATE: **06/14/18**
 DRAWN BY: **SM**
 PROJECT NO: **F&B 301**

A401

CONSTRUCTION DOCUMENTS

FILE NAME:
 SAVED DATE:

COPYRIGHT NOTICE:
These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



06.14.18

**FARROW & BALL
WEST HOLLYWOOD**

741 NORTH LA CIENEGA BOULEVARD
LOS ANGELES, CALIFORNIA

ISSUE DATE:

REVISIONS

NO.	DESCRIPTION



Farrow & Ball
Uddens Estate
Wimborne Dorset BH21 7NL
D +44 1202 850 183

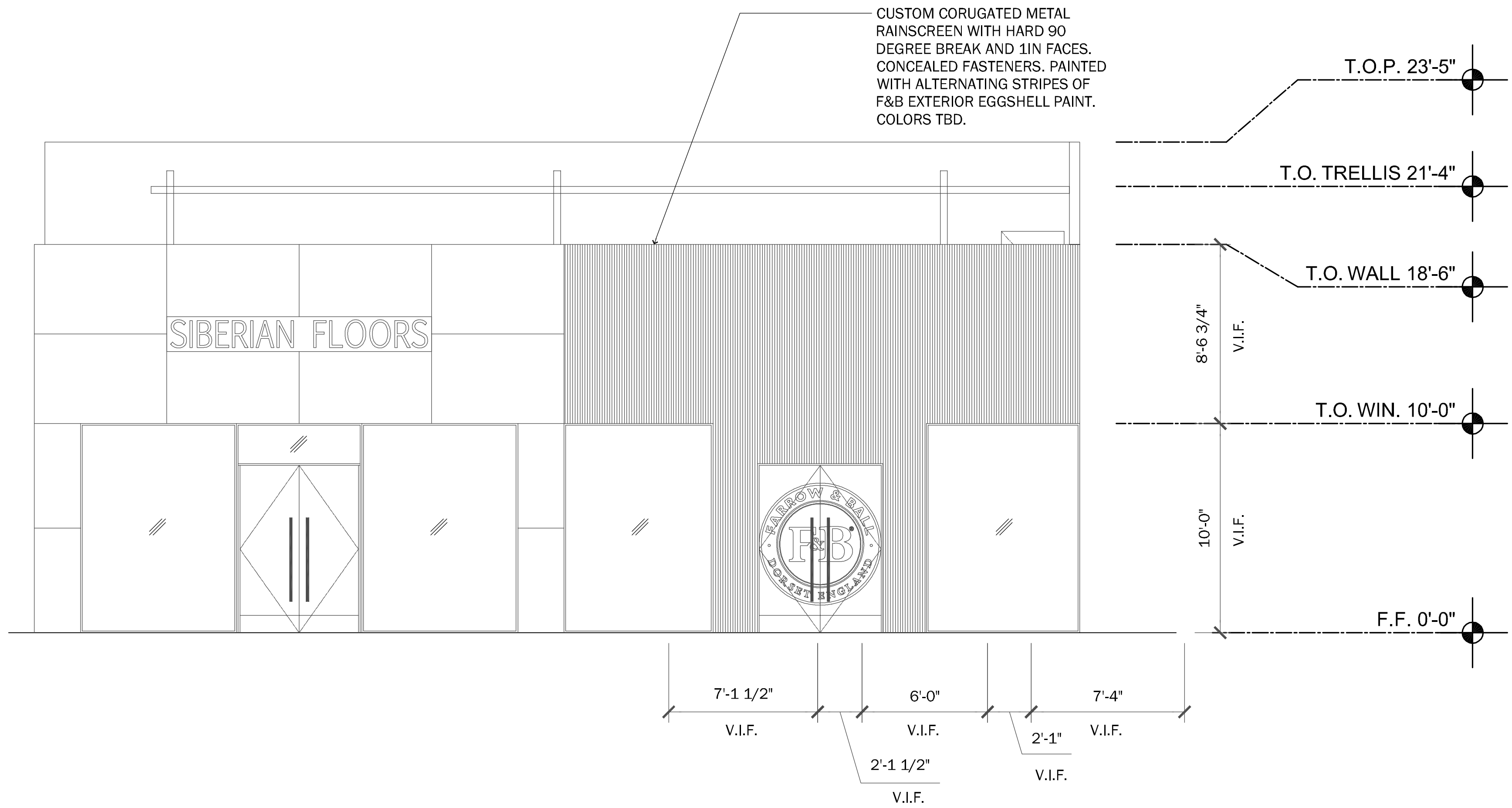
**EXTERIOR
BUILDING
ELEVATIONS**

ISSUE DATE: 06/14/18

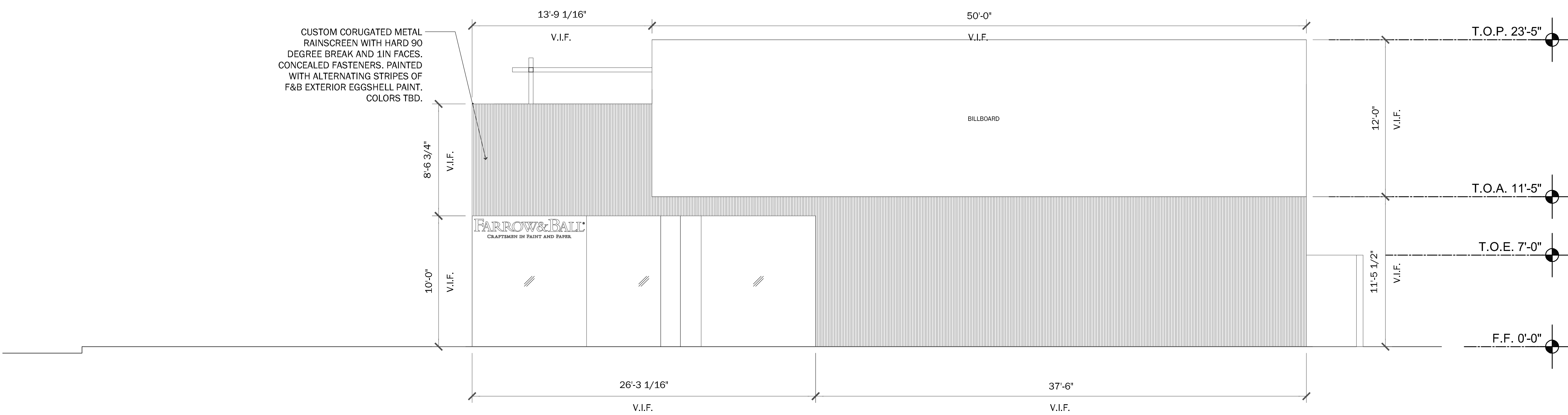
DRAWN BY: SM

PROJECT NO: F&B 301

A402



AA EAST BUILDING ELEVATION



AB NORTH BUILDING ELEVATION

COPYRIGHT NOTICE:
These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



06.14.18

FARROW & BALL
WEST HOLLYWOOD

741 NORTH LA CIENEGA BOULEVARD
LOS ANGELES, CALIFORNIA

ISSUE DATE:

REVISIONS



REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

REVISIONS

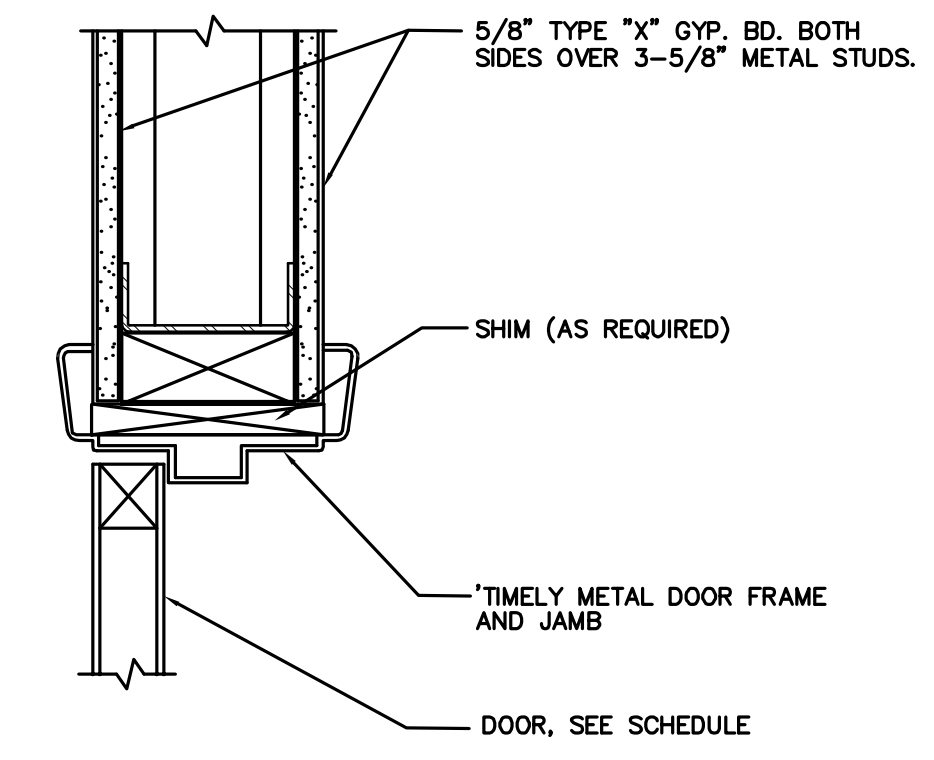
REVISIONS

REVISIONS

REVISIONS

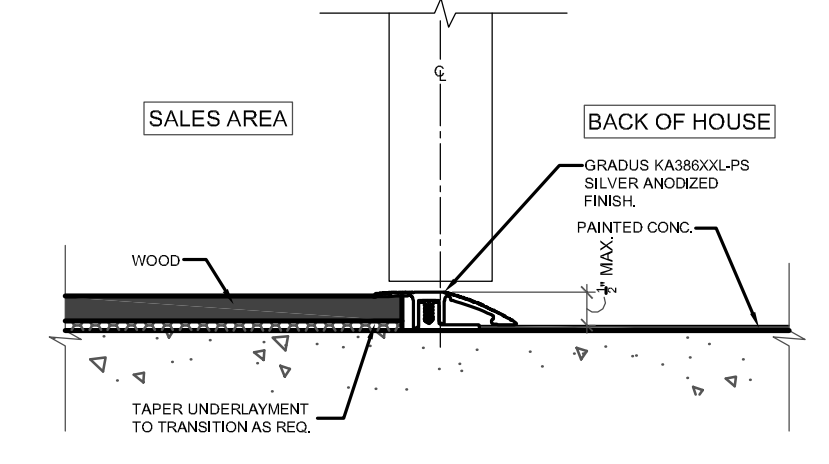
REVISIONS

REVISIONS



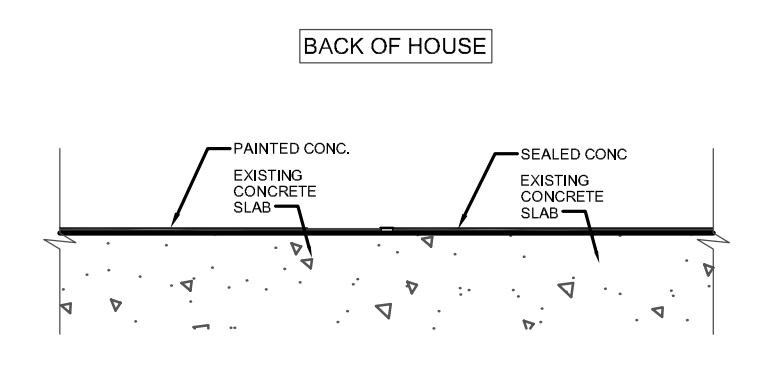
1.0 MTL. DOOR JAMB DETAIL (TYP.)

1\"/>



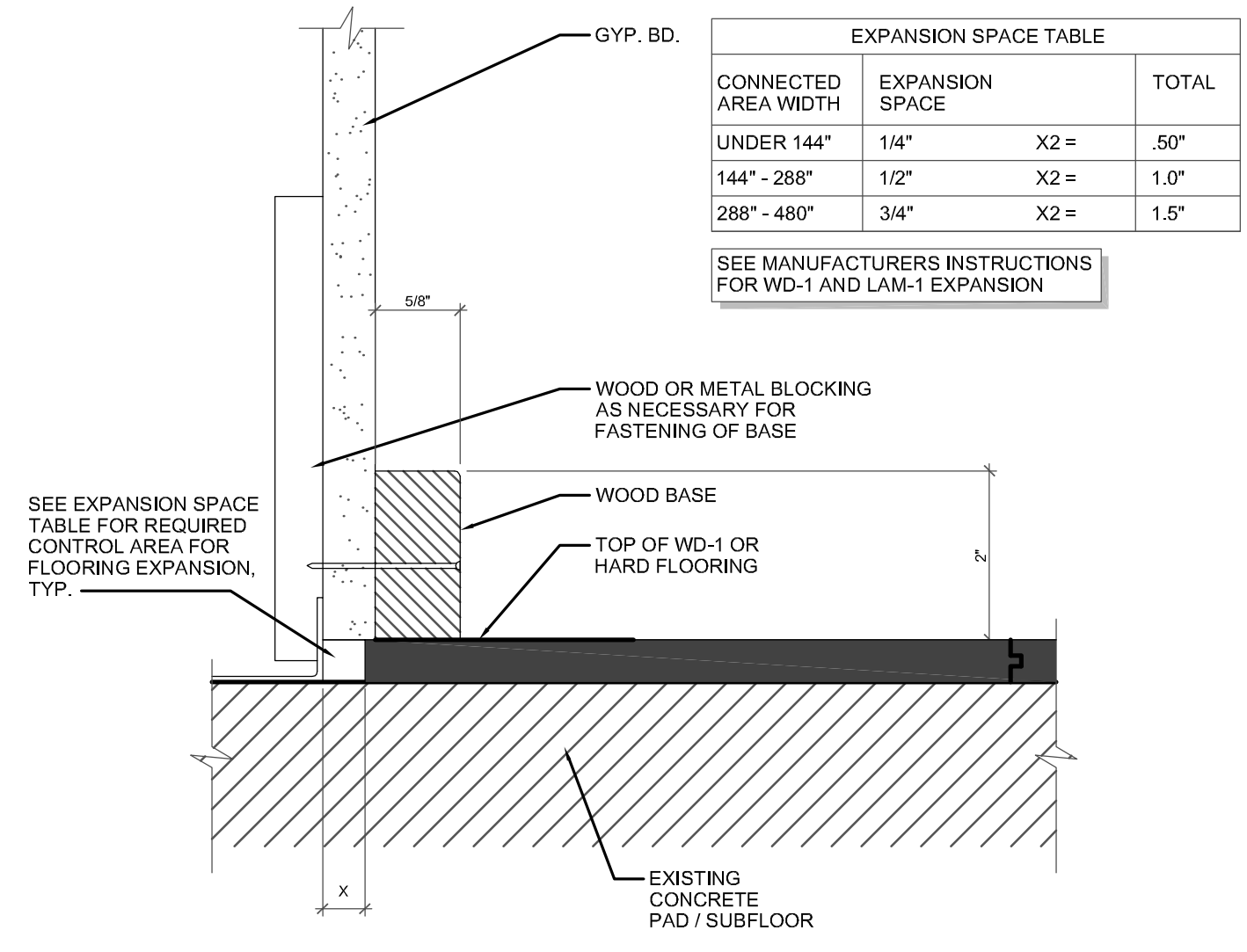
4.0 WOOD FLOOR TO CONCRETE

1\"/>



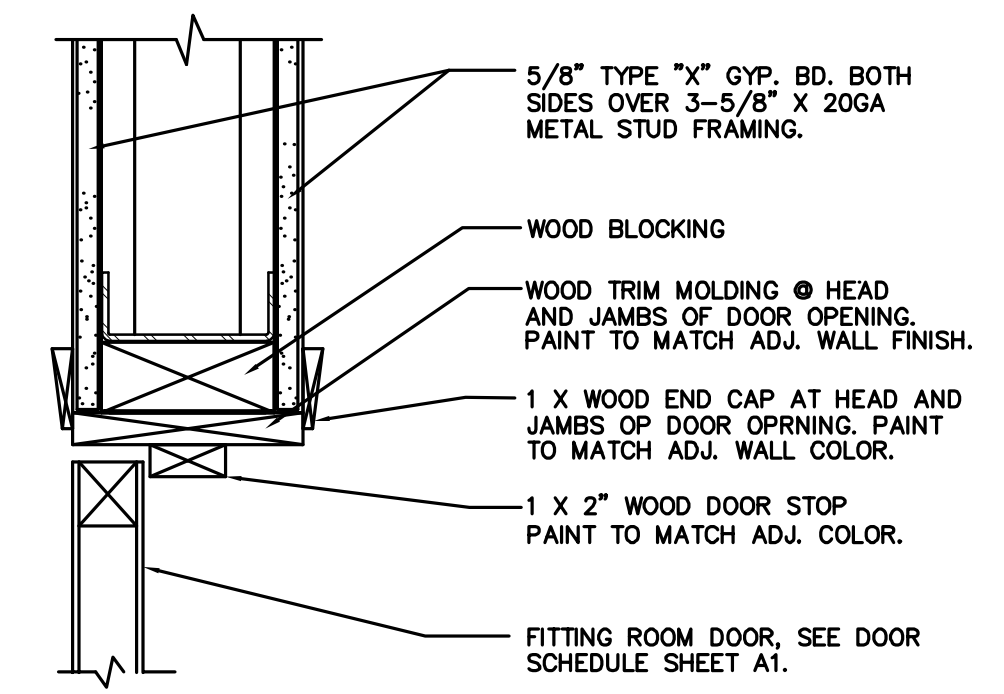
7.0 SUPPORT TUBE CONNECTION

1\"/>



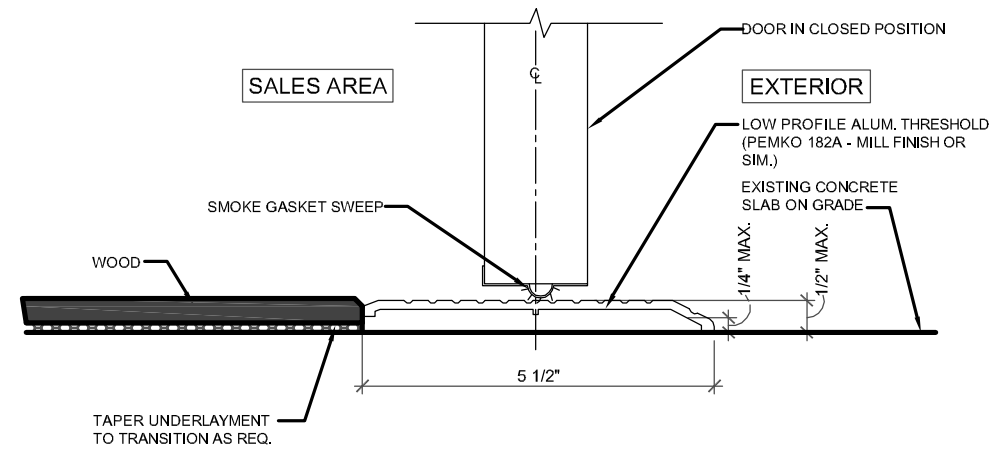
10.0 SUPPORT TUBE CONNECTION

1\"/>



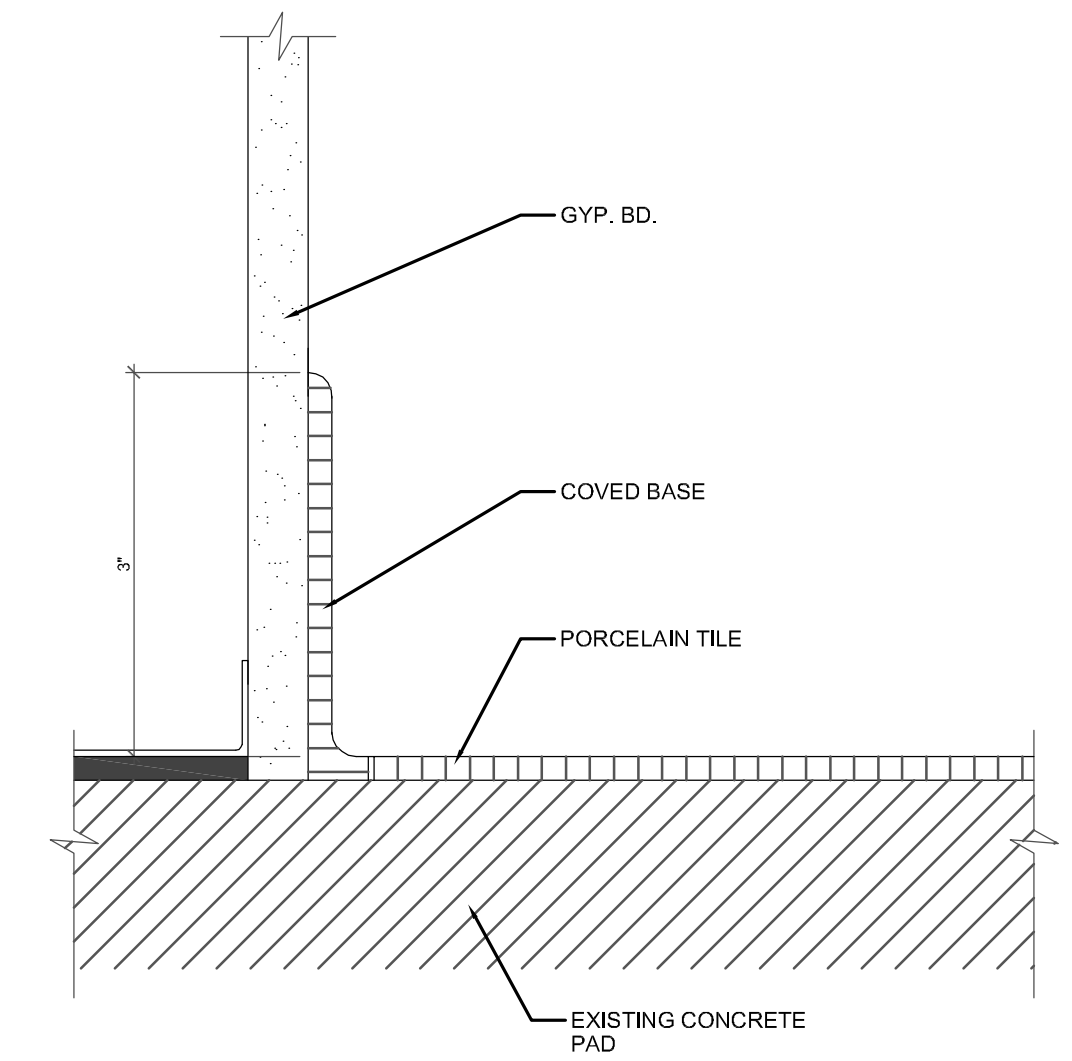
2.0 WD. DOOR JAMB HEAD DETAIL (TYP.)

1\"/>



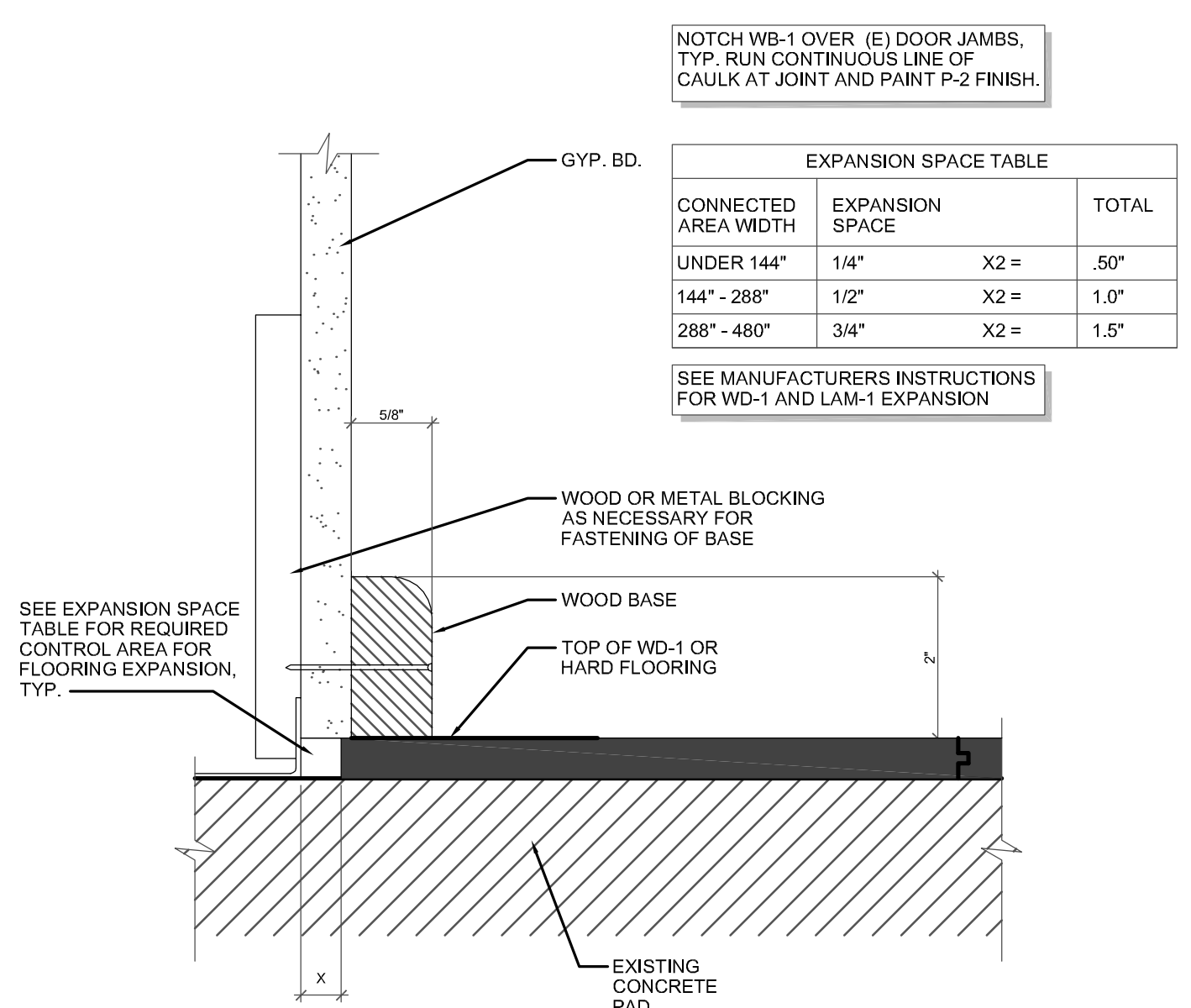
5.0 THRESHOLD @ ENTRY

N.T.S.



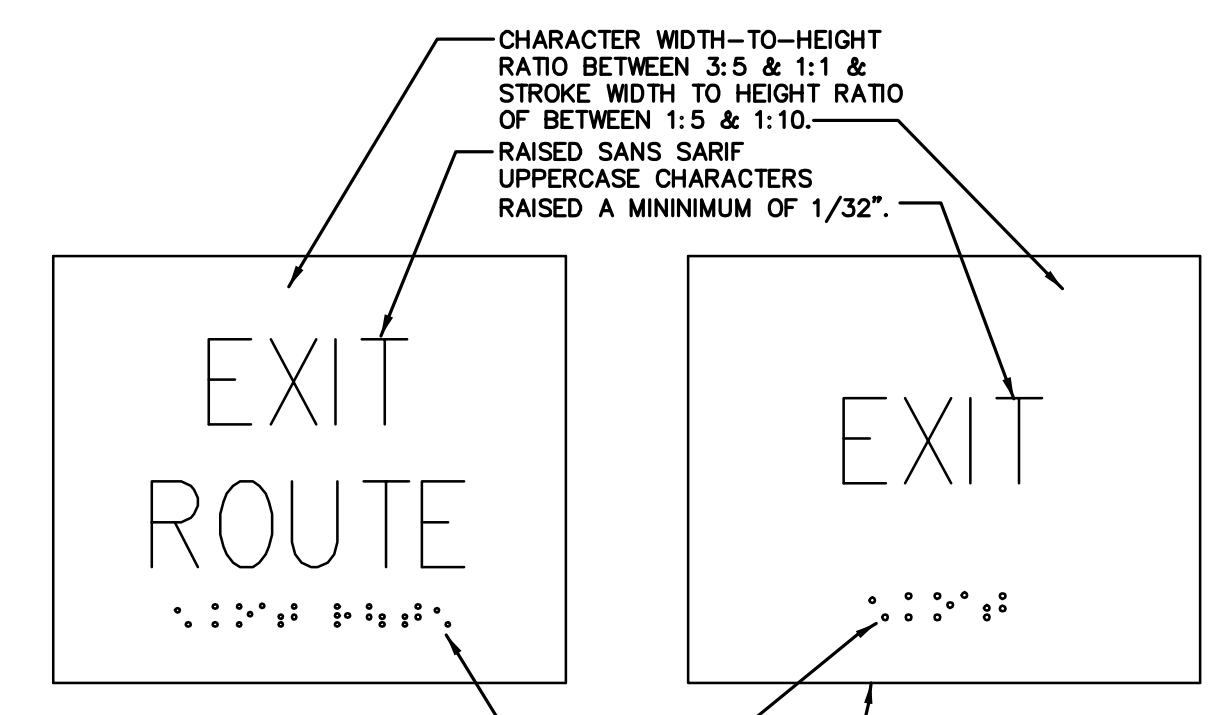
8.0 TILE W/ COVED BASE- RESTROOM

N.T.S.



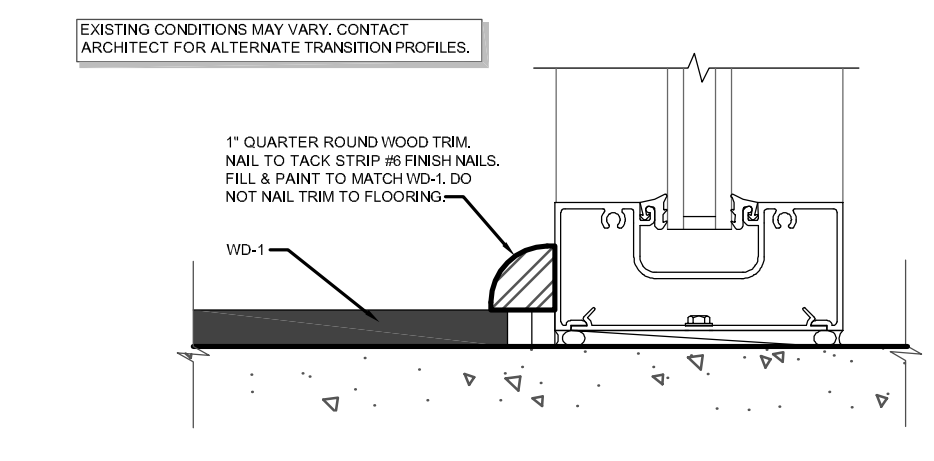
11.0 TILE W/ COVED BASE- RESTROOM

N.T.S.



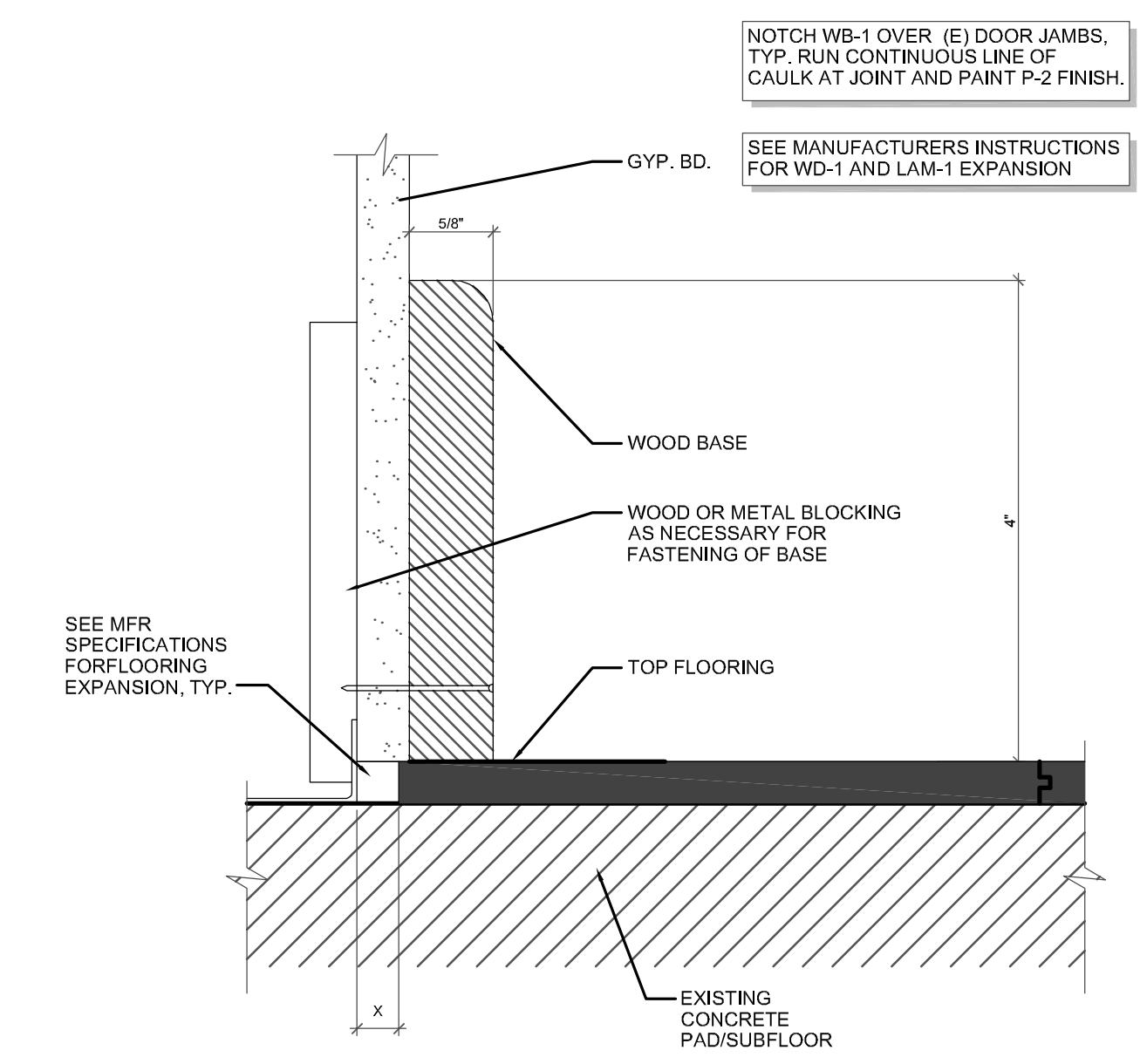
3.0 TACTILE EXIT SIGN

N.T.S.



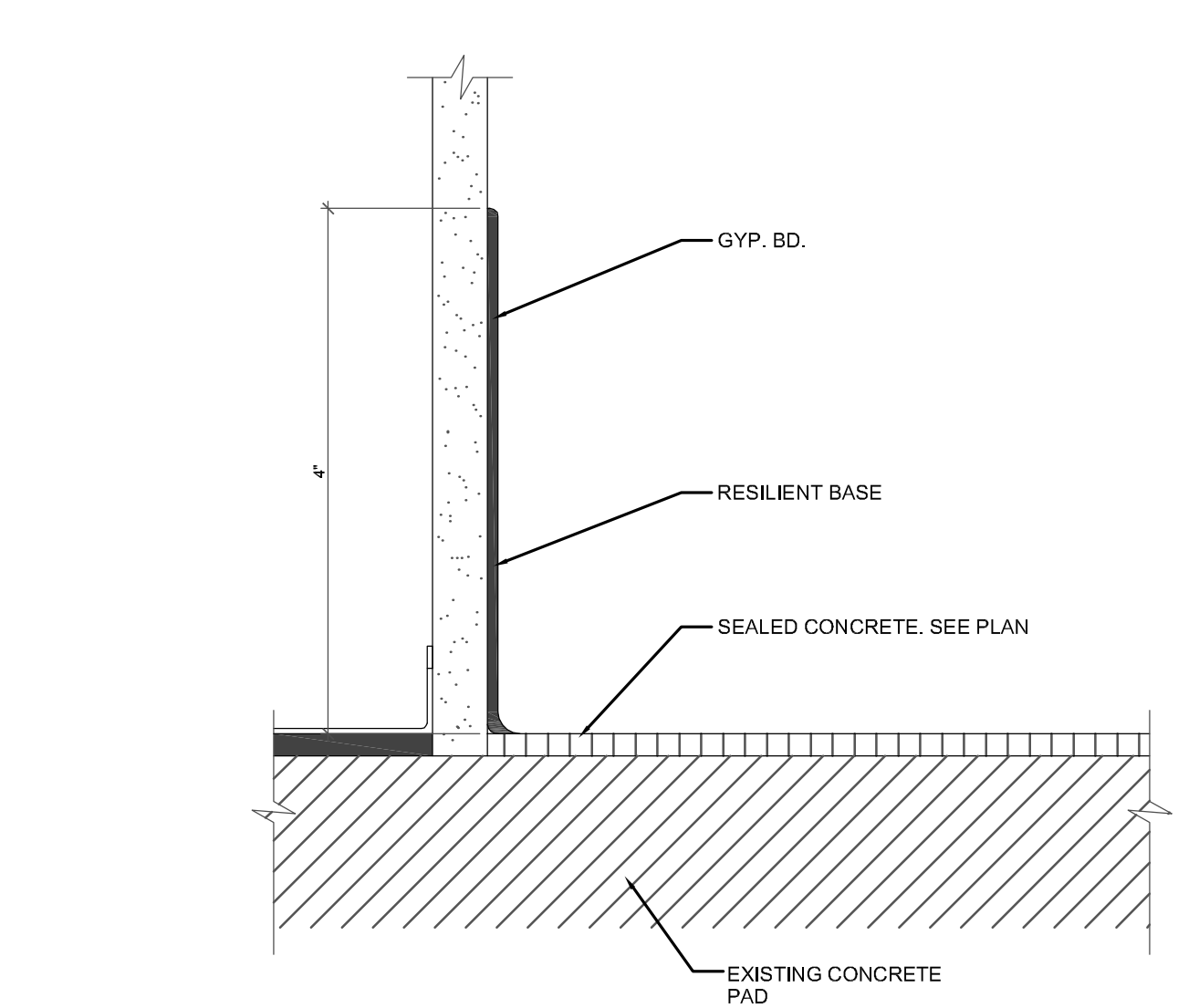
6.0 WOOD @ STOREFRONT

N.T.S.



9.0 SOFFIT TO STRUCTURE

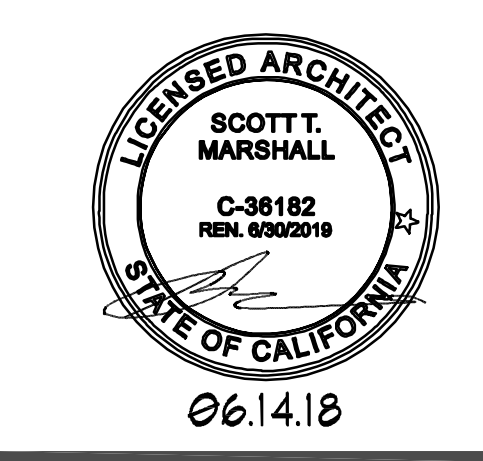
N.T.S.



12.0 SOFFIT TO STRUCTURE

N.T.S.

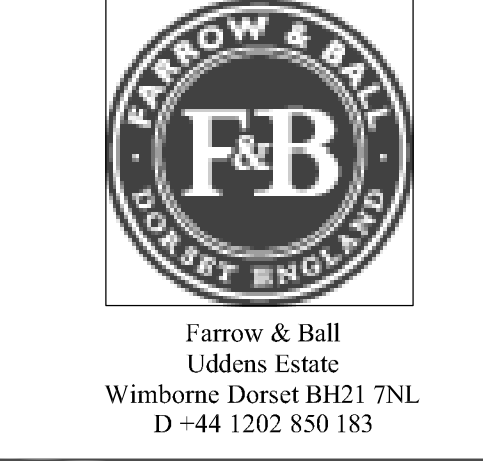
COPYRIGHT NOTICE
 These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



FARROW & BALL
WEST HOLLYWOOD
 741 NORTH LA CIENEGA BOULEVARD
 LOS ANGELES, CALIFORNIA

ISSUE DATE:

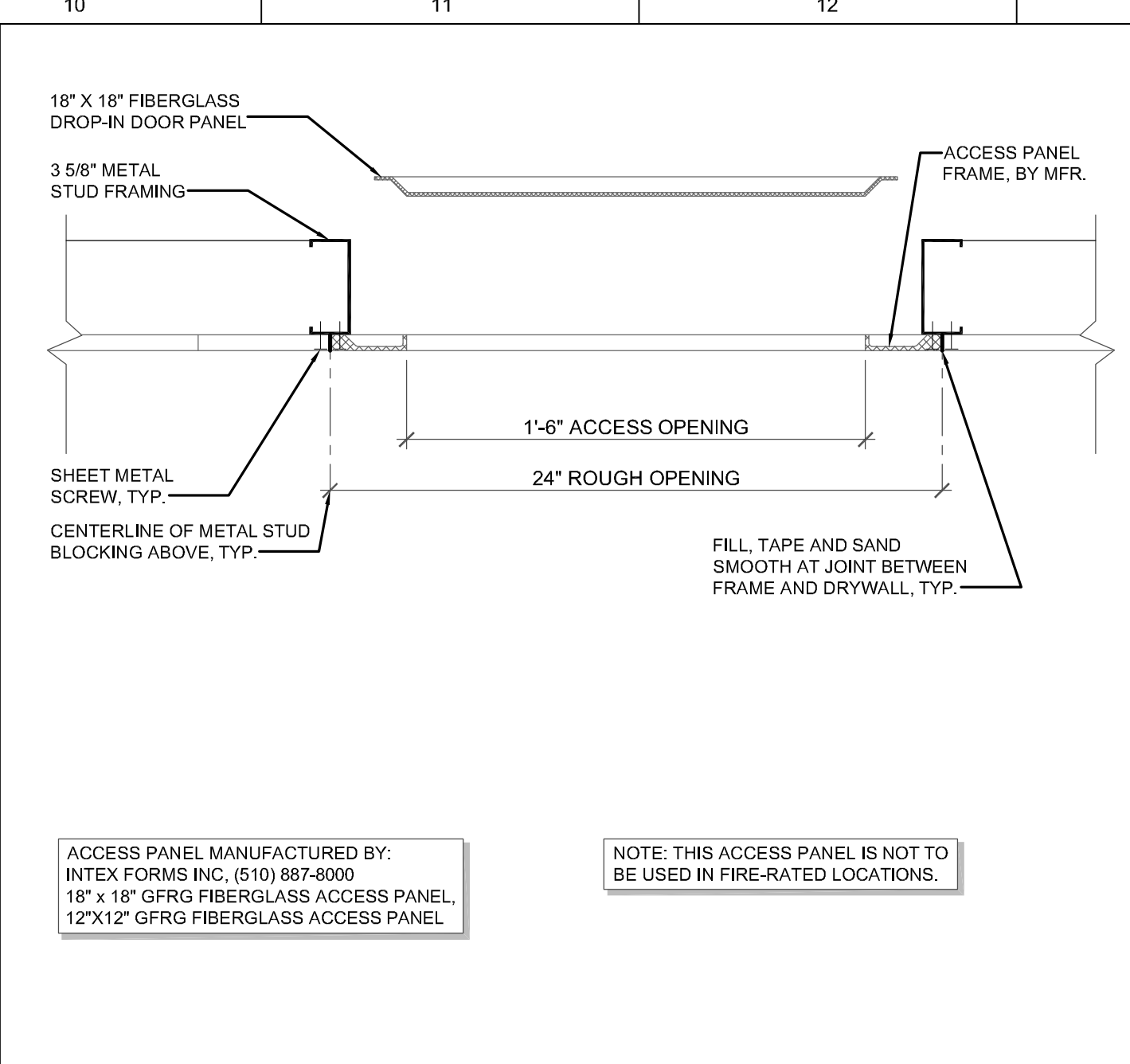
NO.	REVISIONS



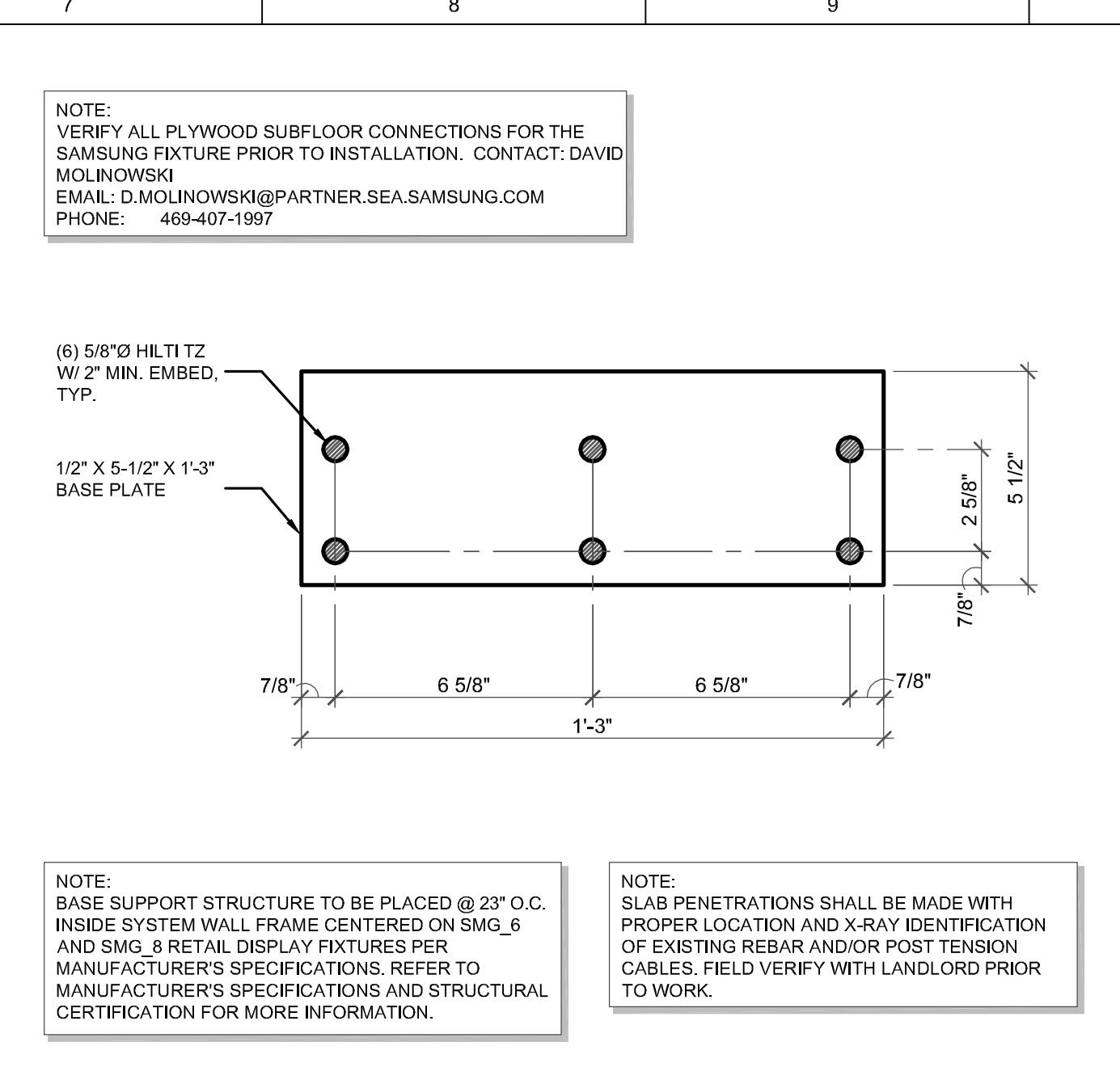
ARCH
DETAILS

ISSUE DATE: **06/14/18**
 DRAWN BY: **SM**
 PROJECT NO: **F&B 301**

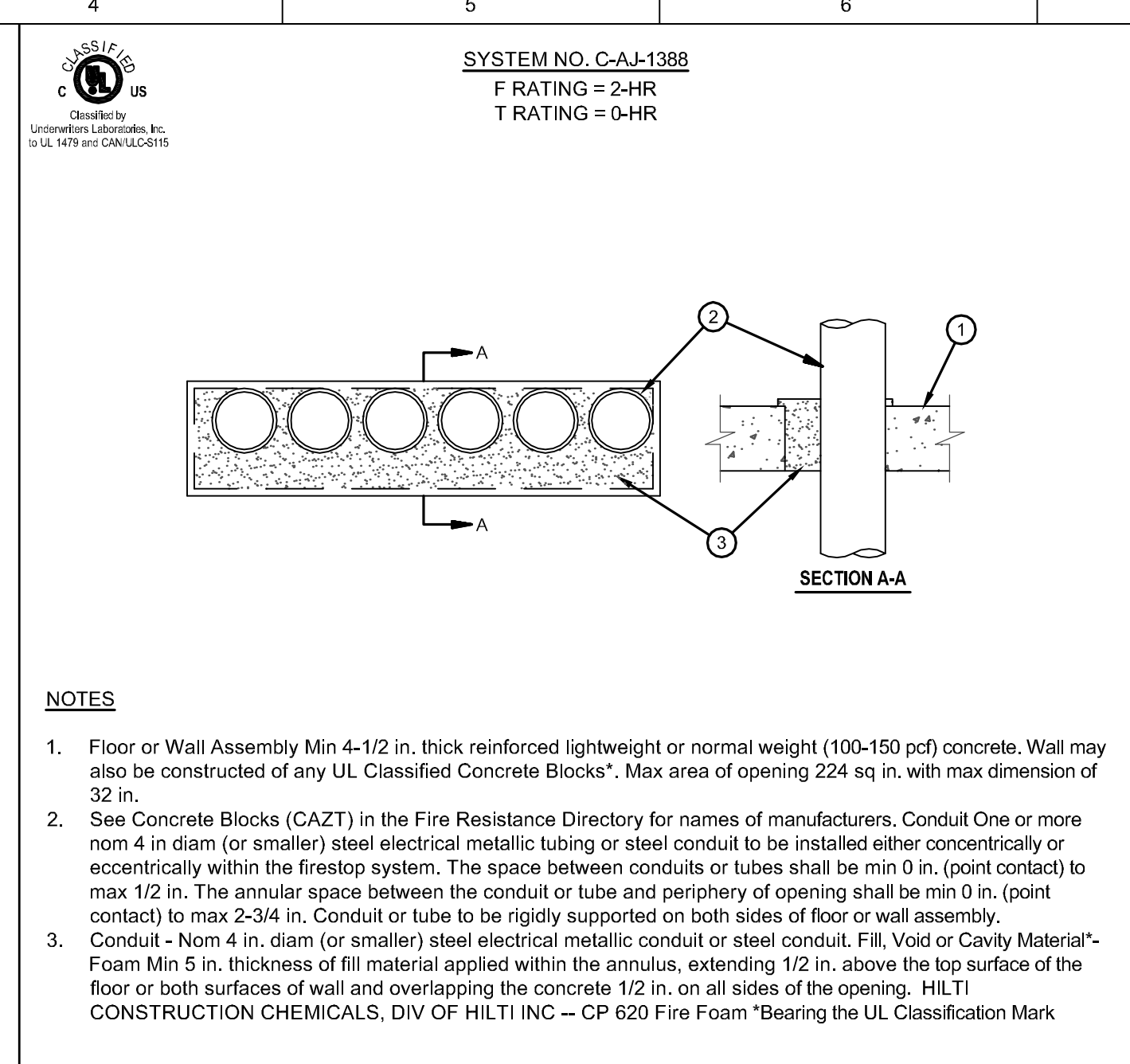
A601



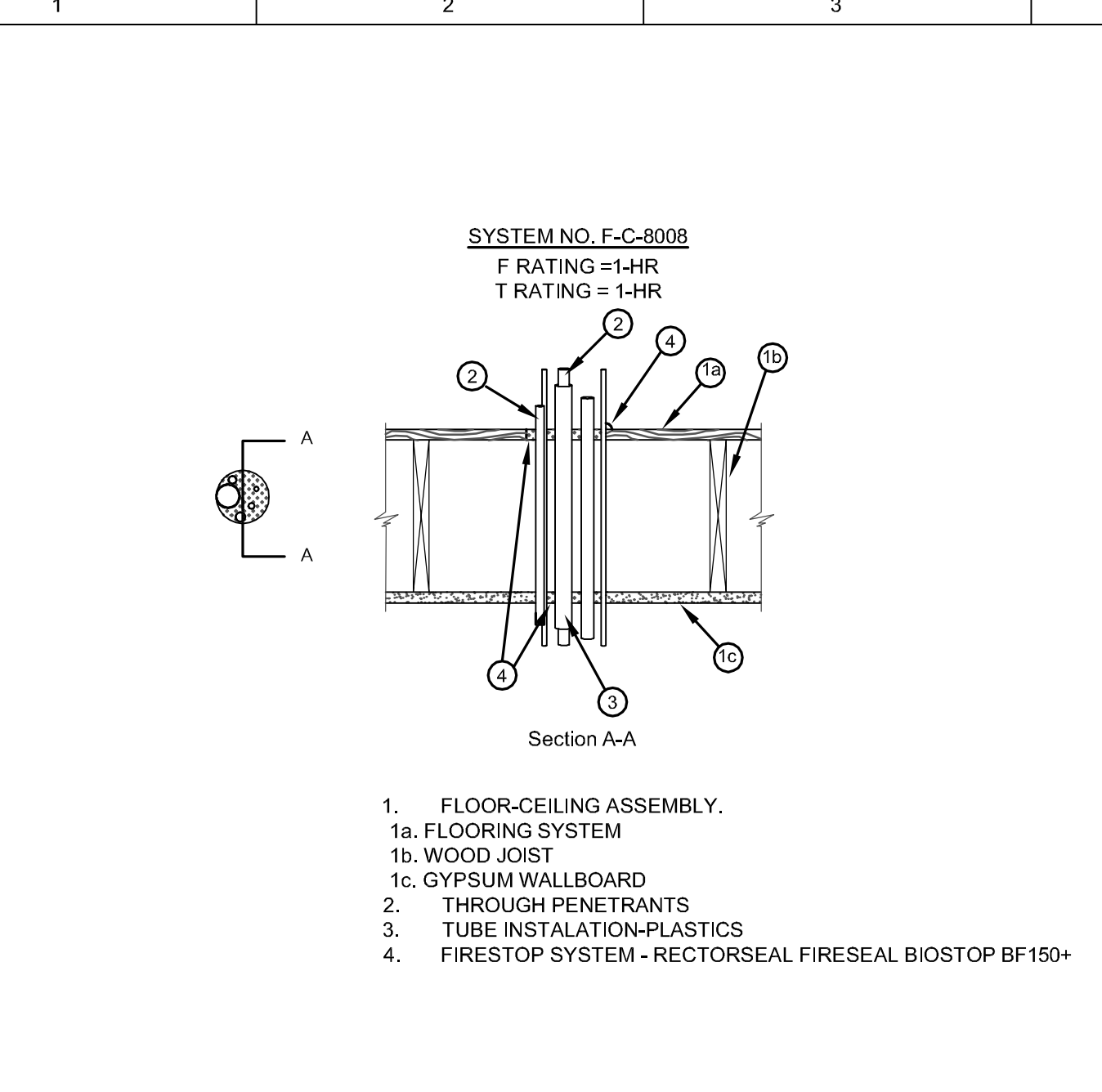
D1 PUSH OUT CEILING ACCESS PANEL
 N.T.S. WHEN USED



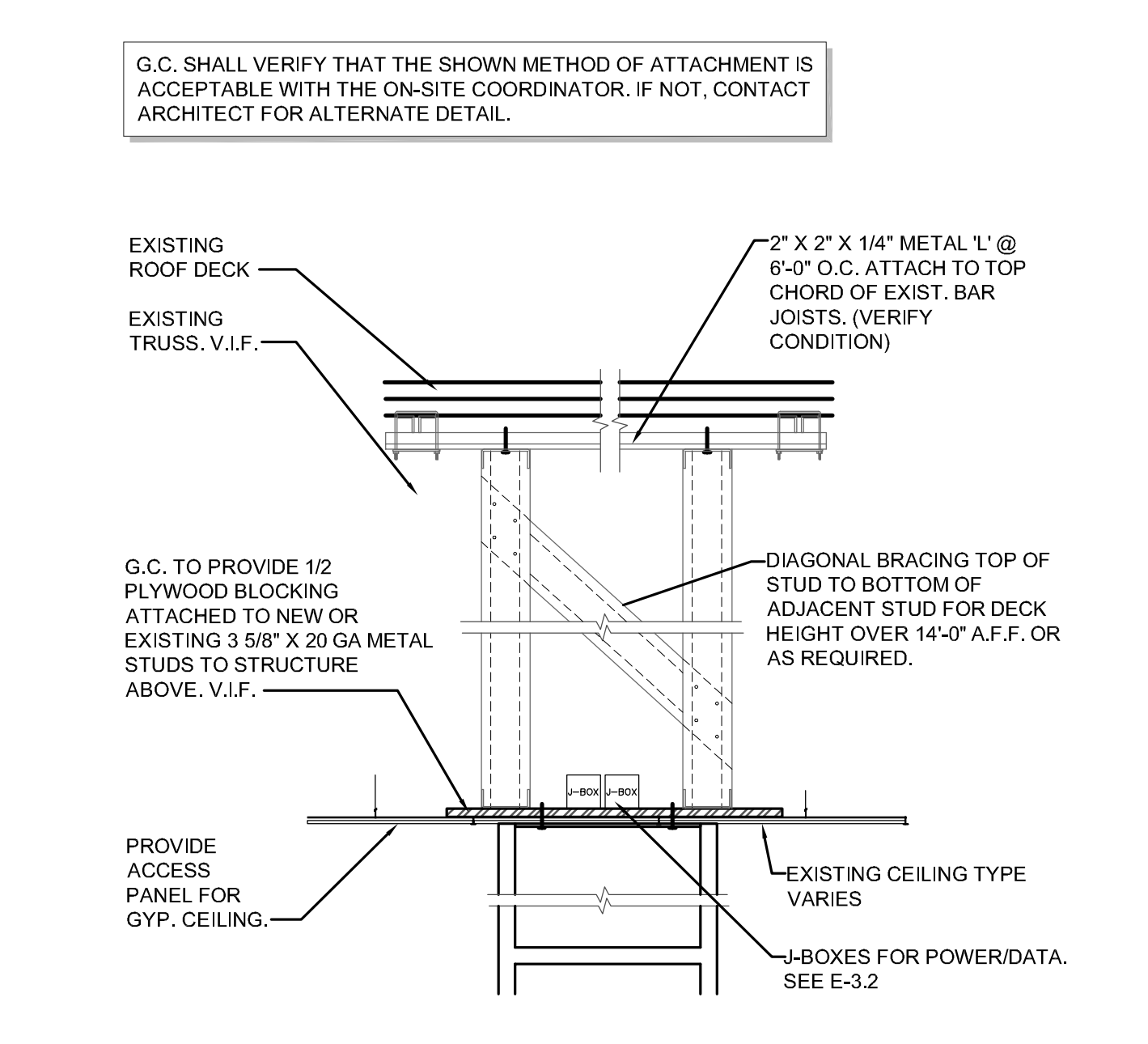
D4 BASE SUPPORT FRAME - THRU SUBFLOOR
 3" = 1'-0" PLAN DETAIL



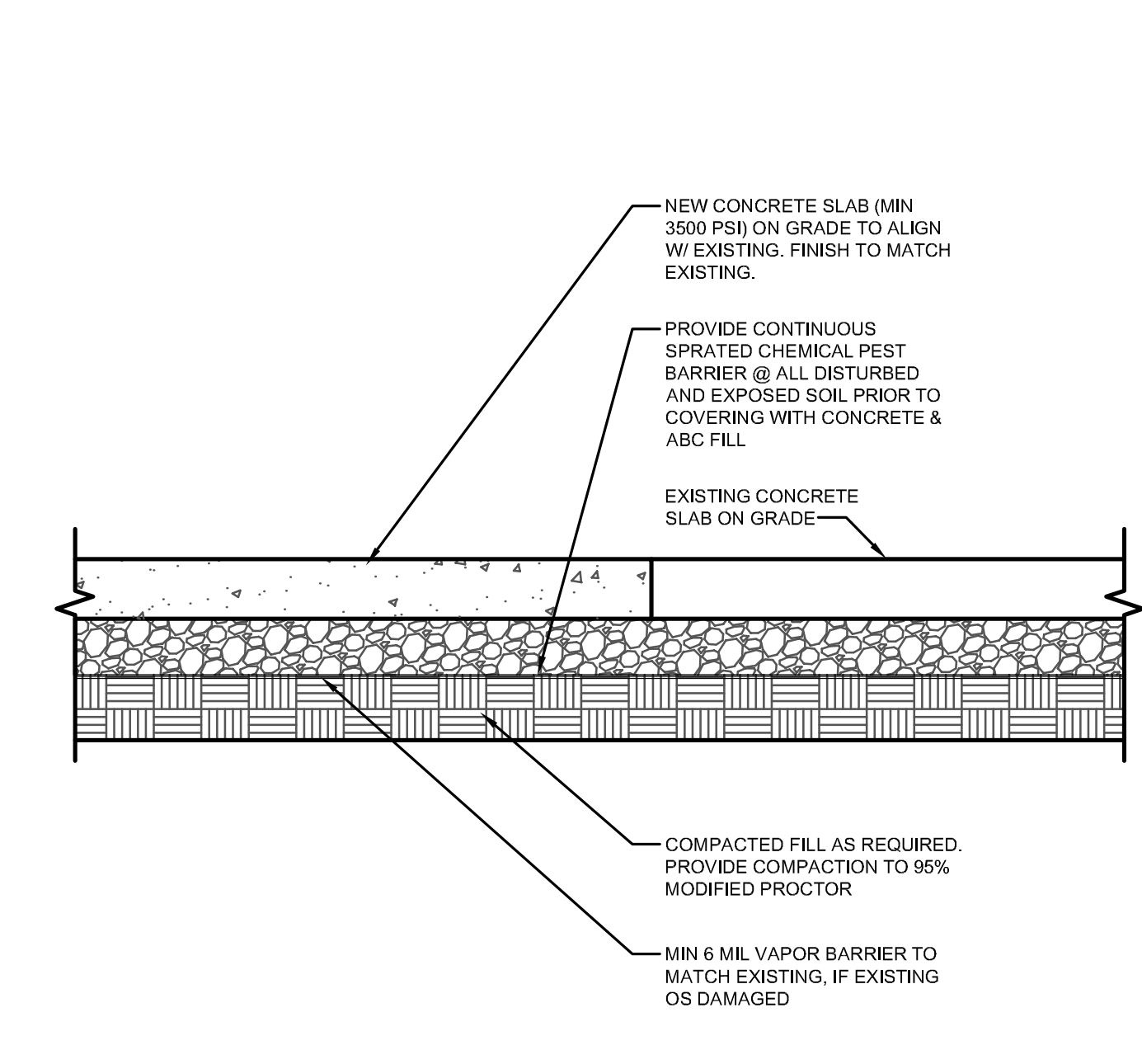
D7 CORED SLAB DETAIL
 N.T.S.



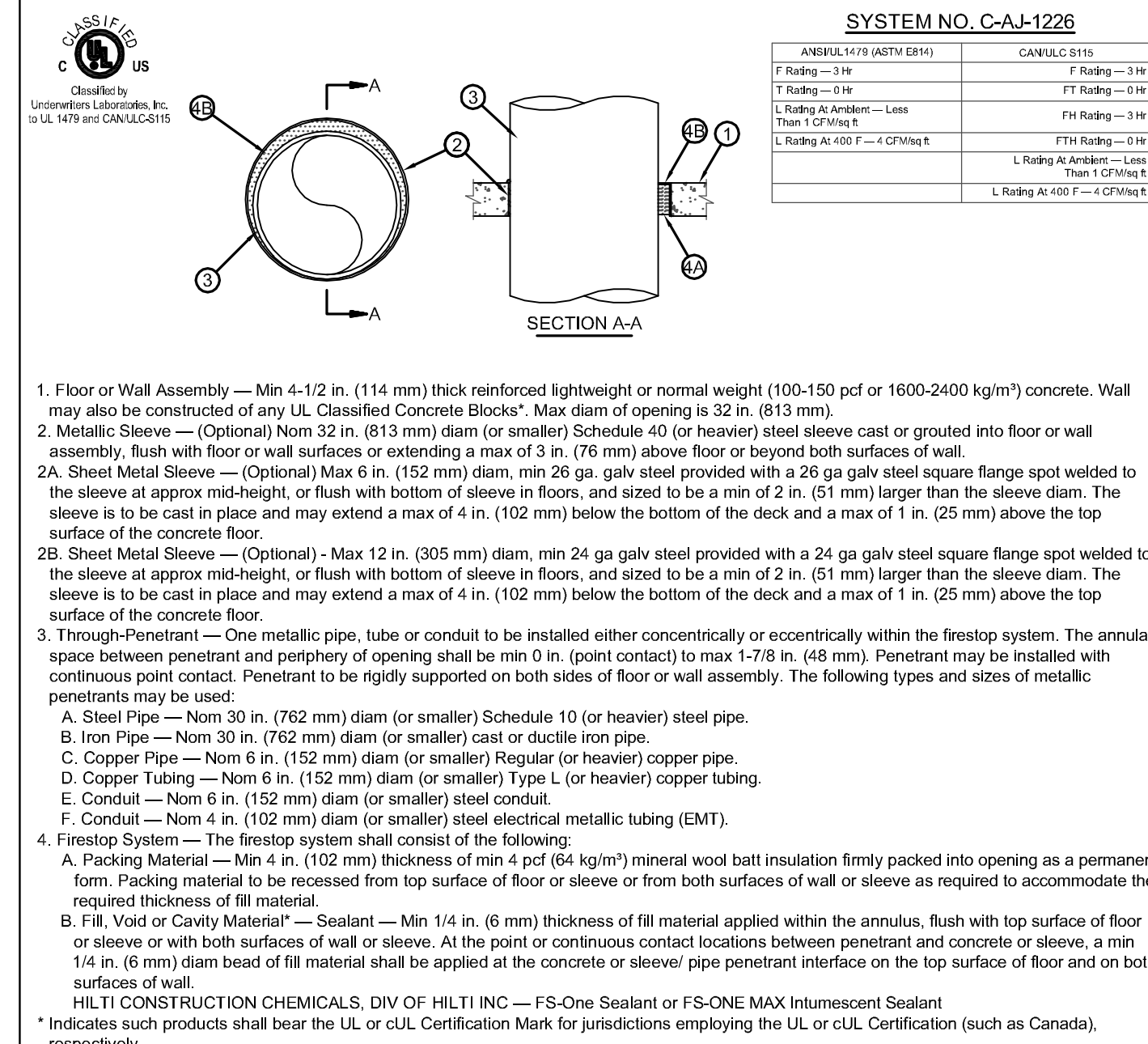
D10 CORED WOOD FLOOR DETAIL
 N.T.S.



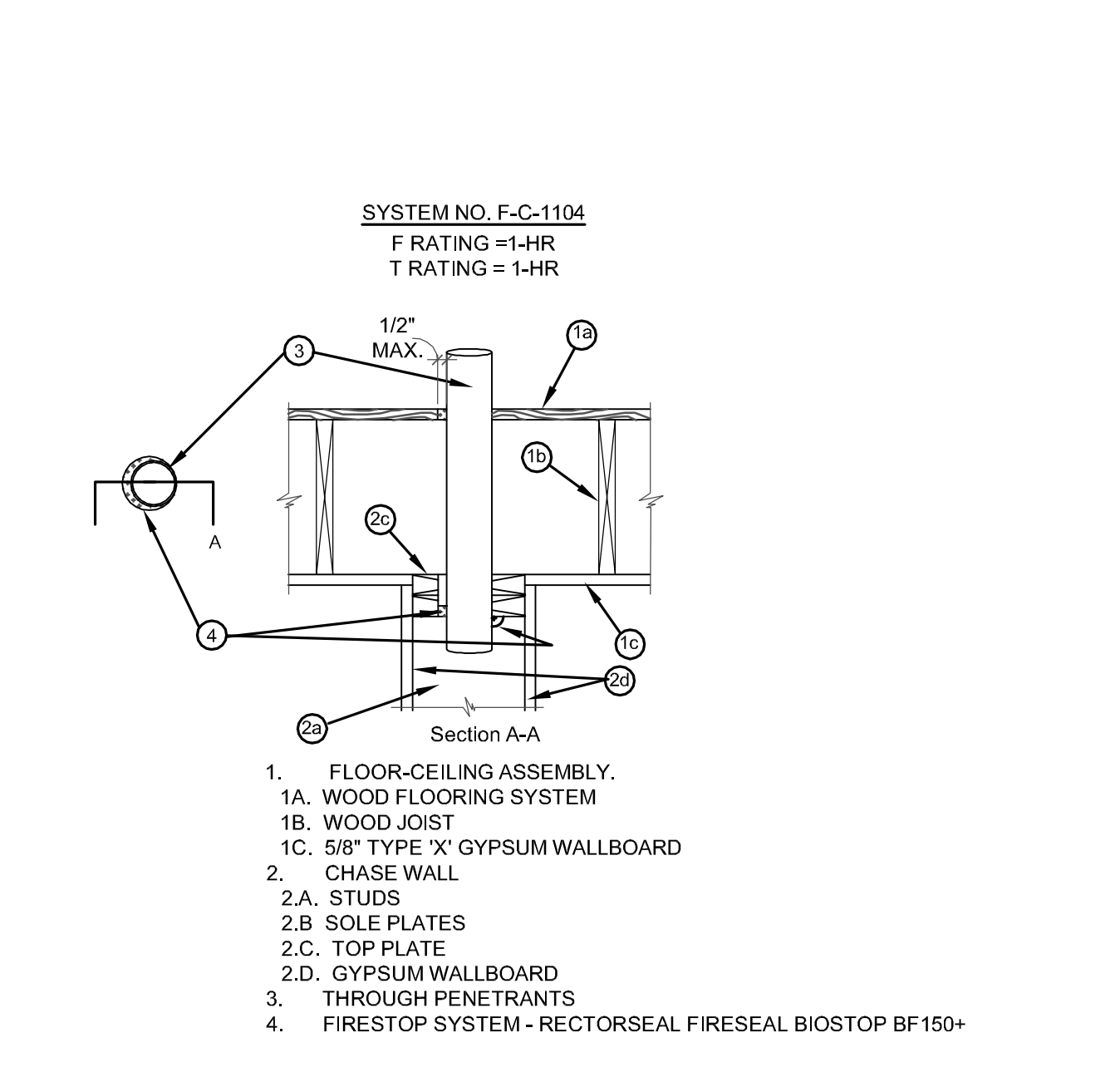
D2 DISPLAY ATTACHMENT AT SOFFIT
 N.T.S. WHEN USED



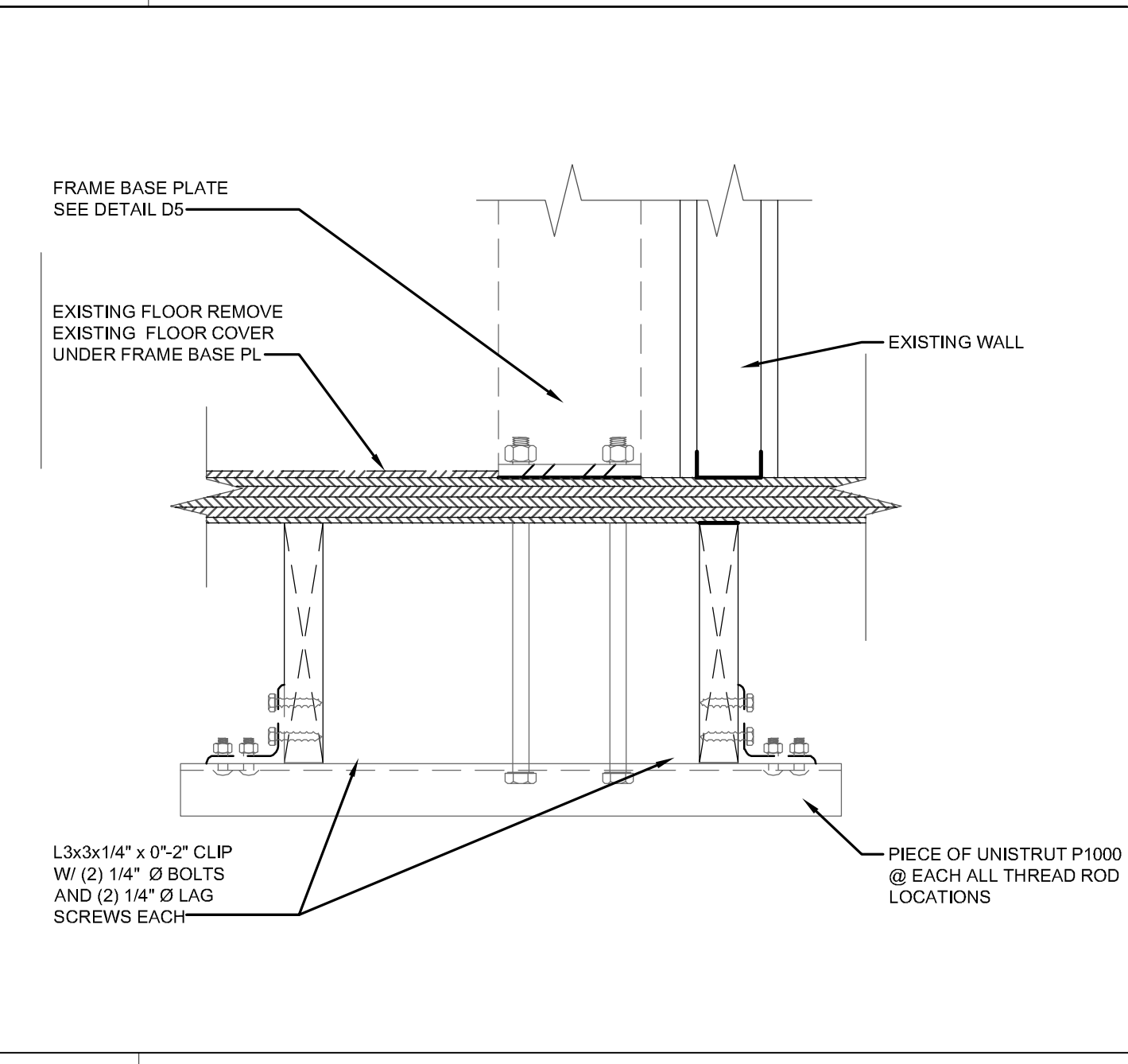
D5 SLAB INFILL AT SUPPLY / WASTE
 N.T.S.



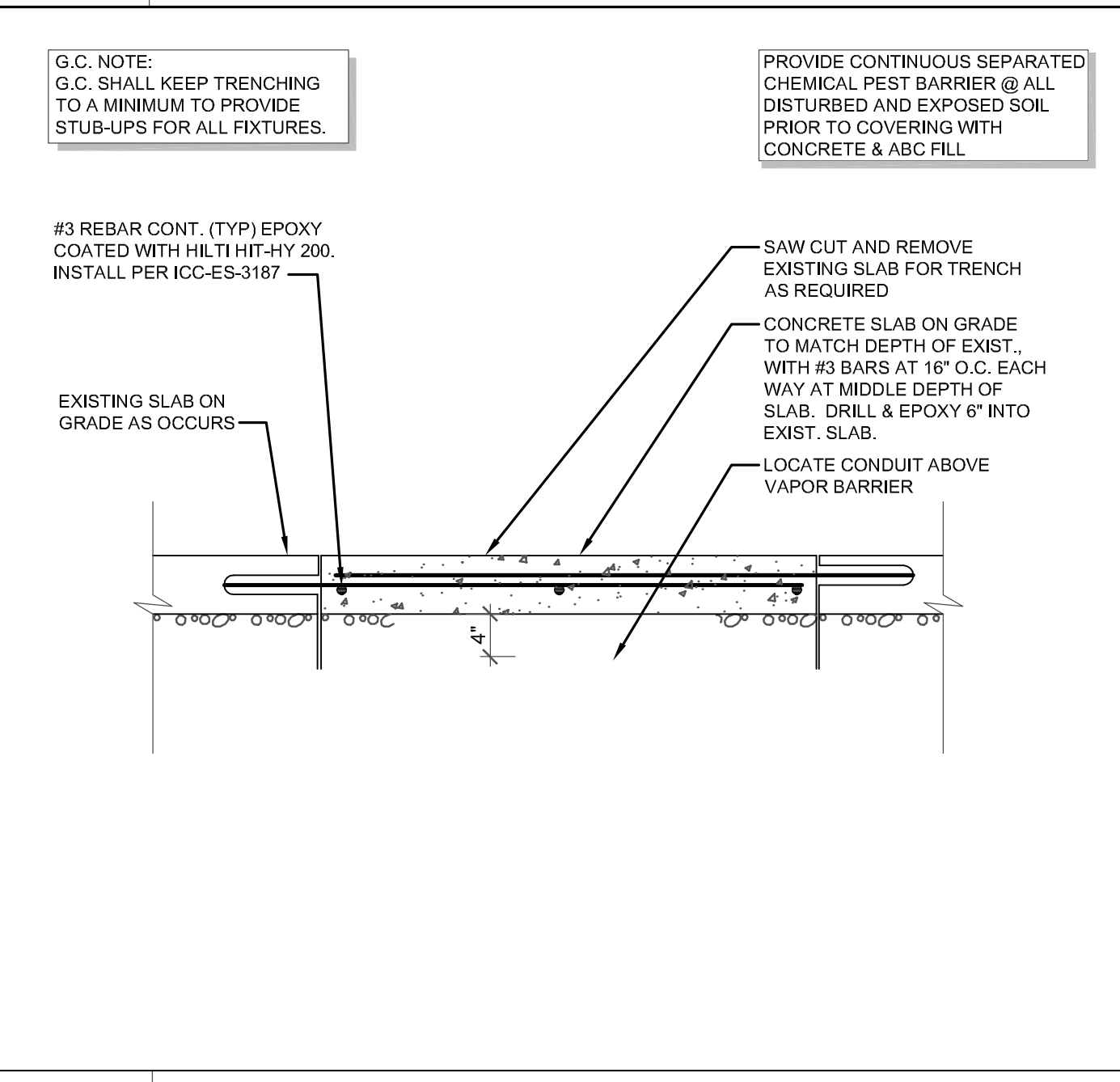
D8 CORED SLAB SLEEVE DETAIL
 N.T.S.



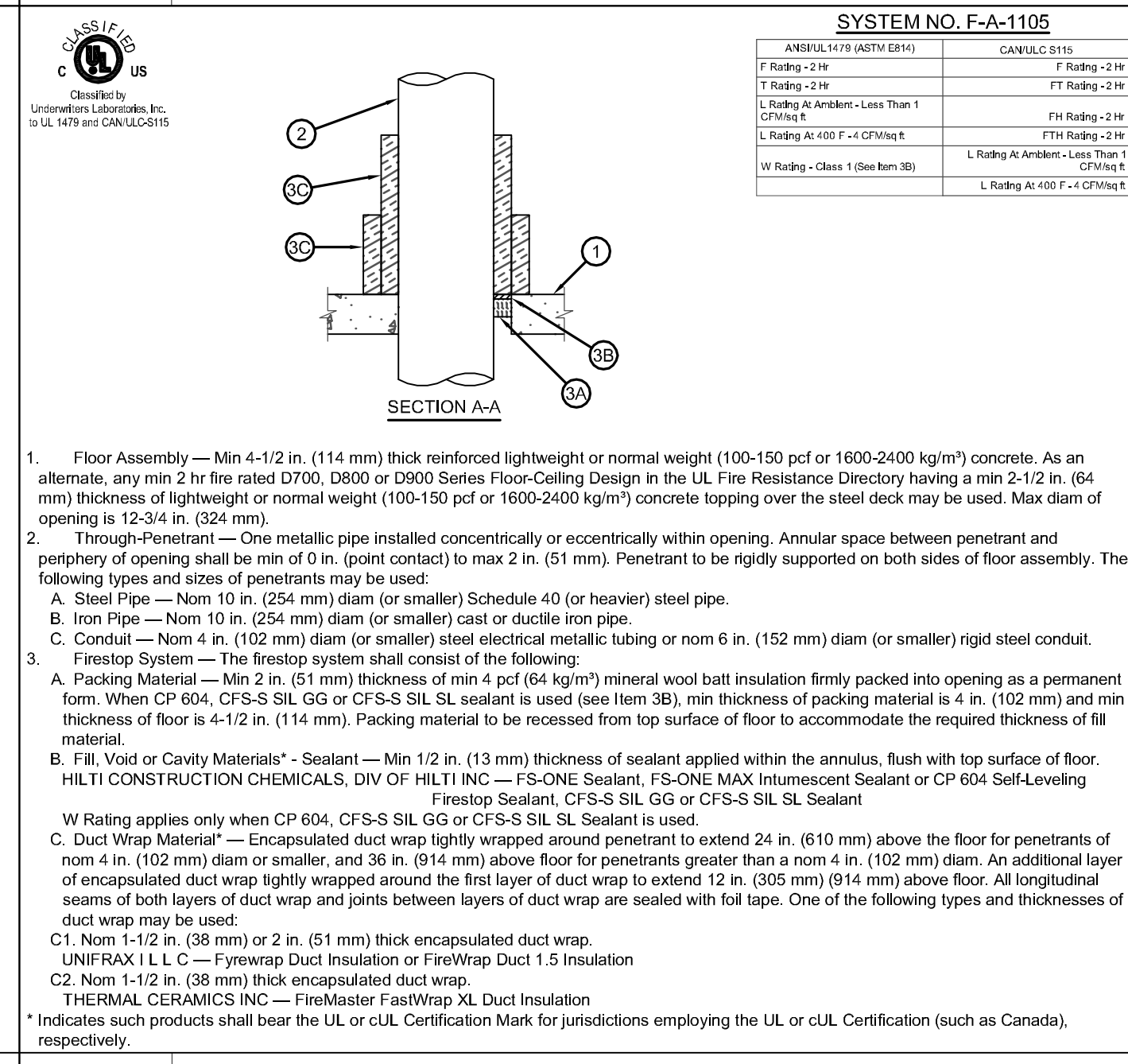
D11 CORED WOOD FLOOR DETAIL
 N.T.S.



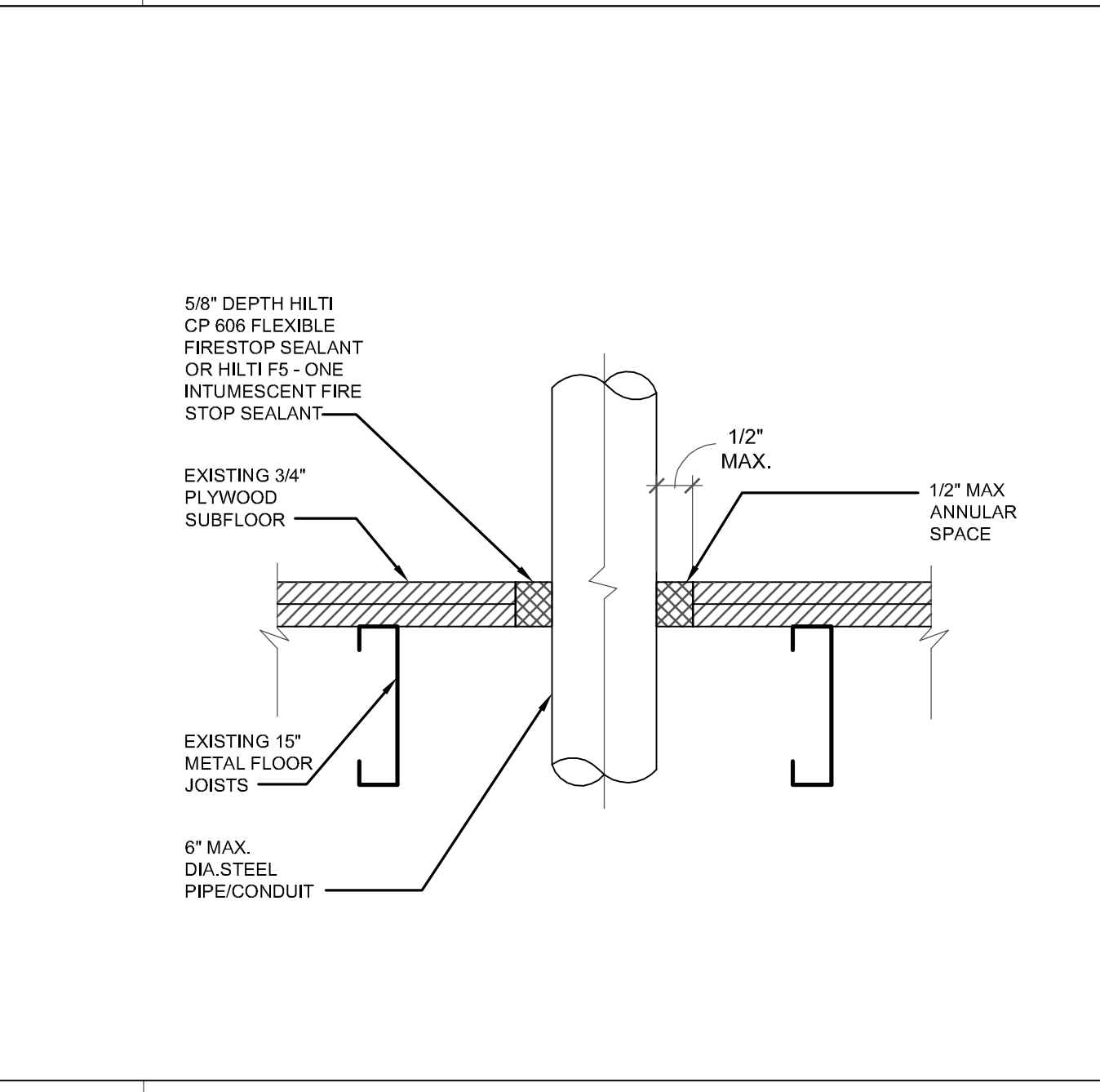
D3 FRAME ANCHORAGE DETAIL
 3" = 1'-0" N.T.S.



D6 SLAB DOWELING AT TRENCH
 N.T.S. WHEN REQUIRED



D9 CORED SLAB PIPE SUPPORT / SLEEVE DETAIL
 N.T.S.



D12 CORED WOOD FLOOR DETAIL
 N.T.S.

COPYRIGHT NOTICE:
These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 U.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessation of construction, building seizure, and/or monetary liability.



06.14.18

FARROW & BALL WEST HOLLYWOOD

741 NORTH LA CIENEGA BOULEVARD
LOS ANGELES, CALIFORNIA

ISSUE DATE:

REVISIONS

NO.	DATE	DESCRIPTION



Farrow & Ball
Udell's Estate
Wimborne Dorset BH21 7NL
D +44 1202 850 183

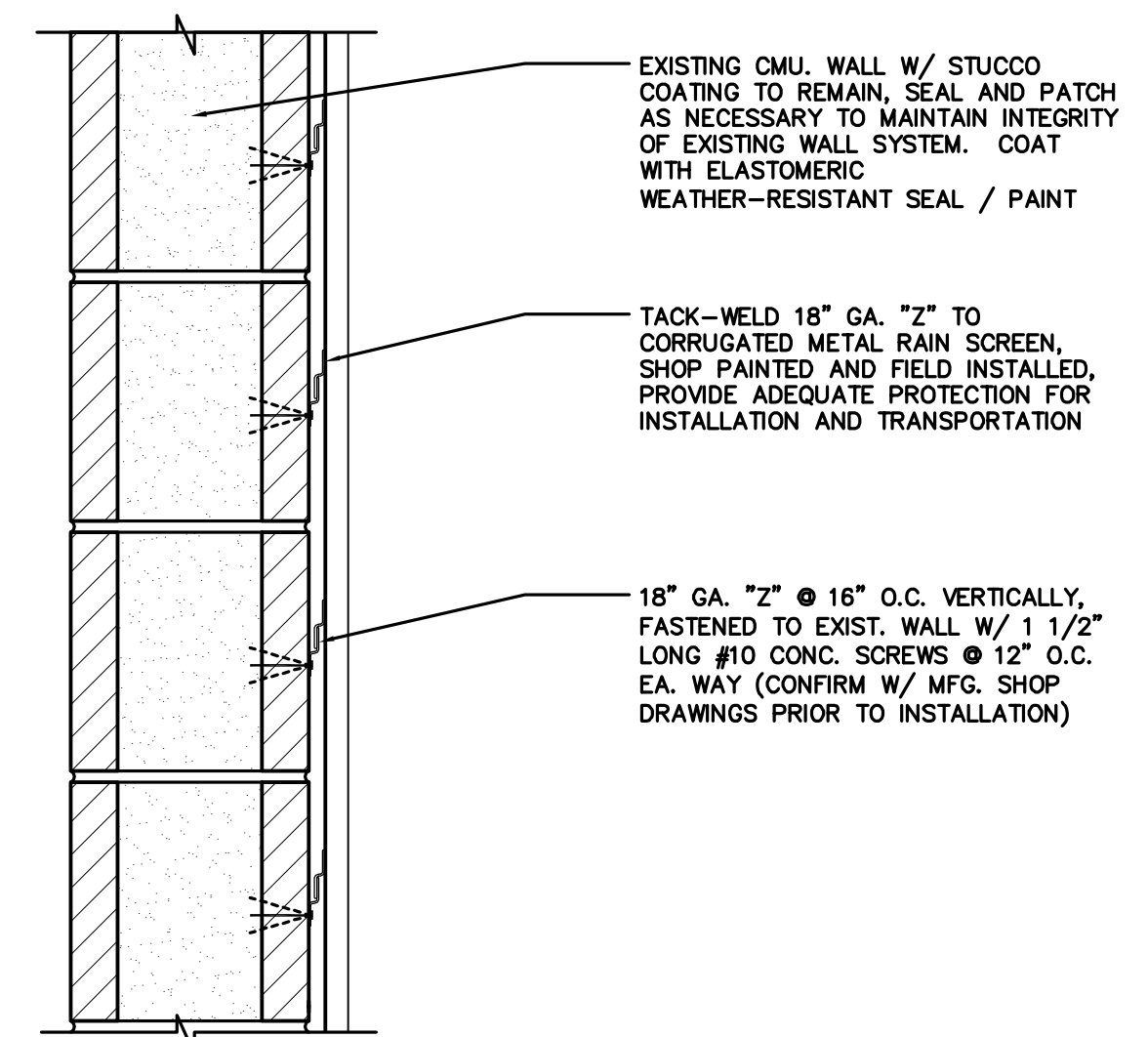
ARCH DETAILS

ISSUE DATE: 06/14/18

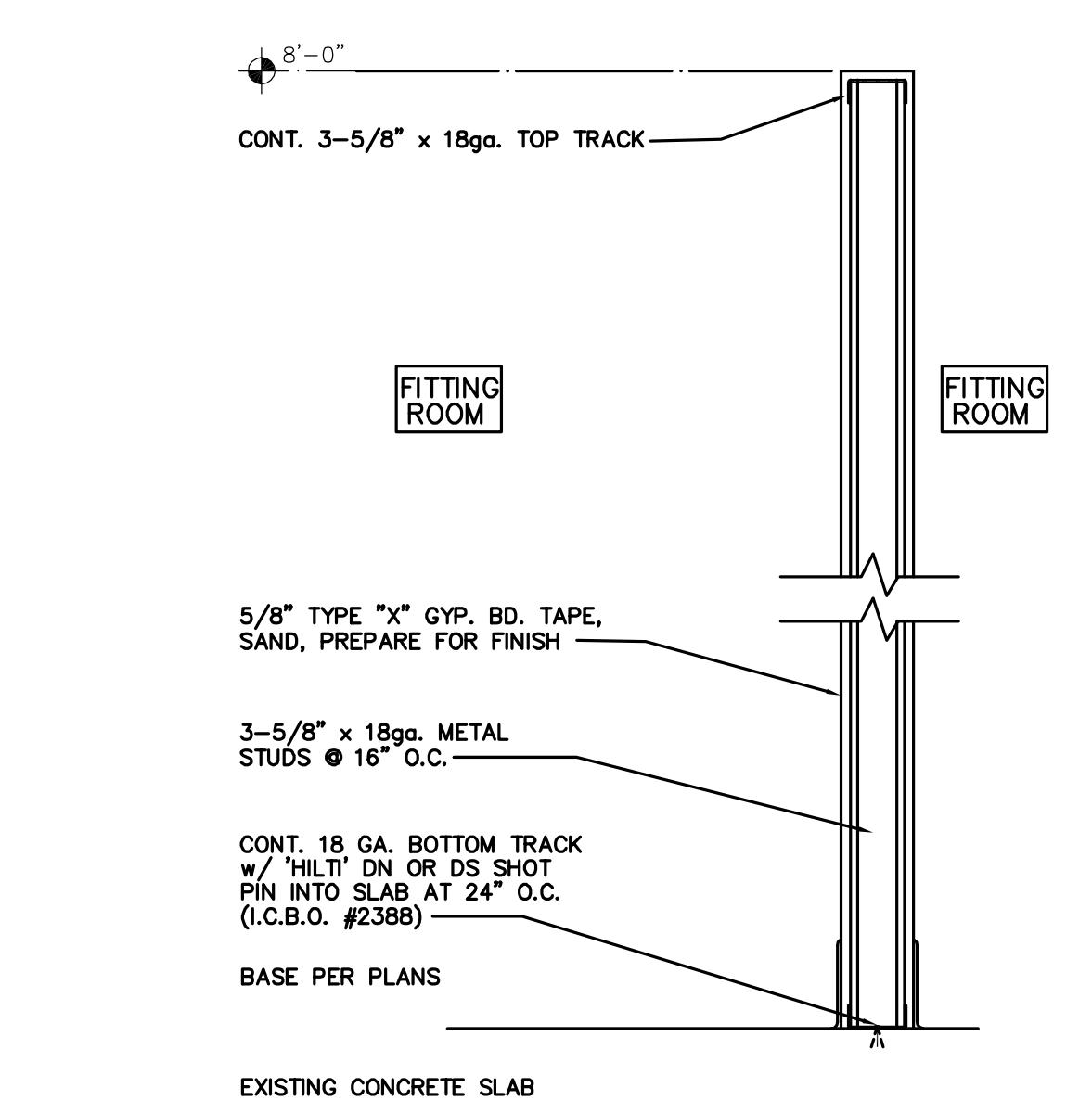
DRAWN BY: SM

PROJECT NO: F&B 301

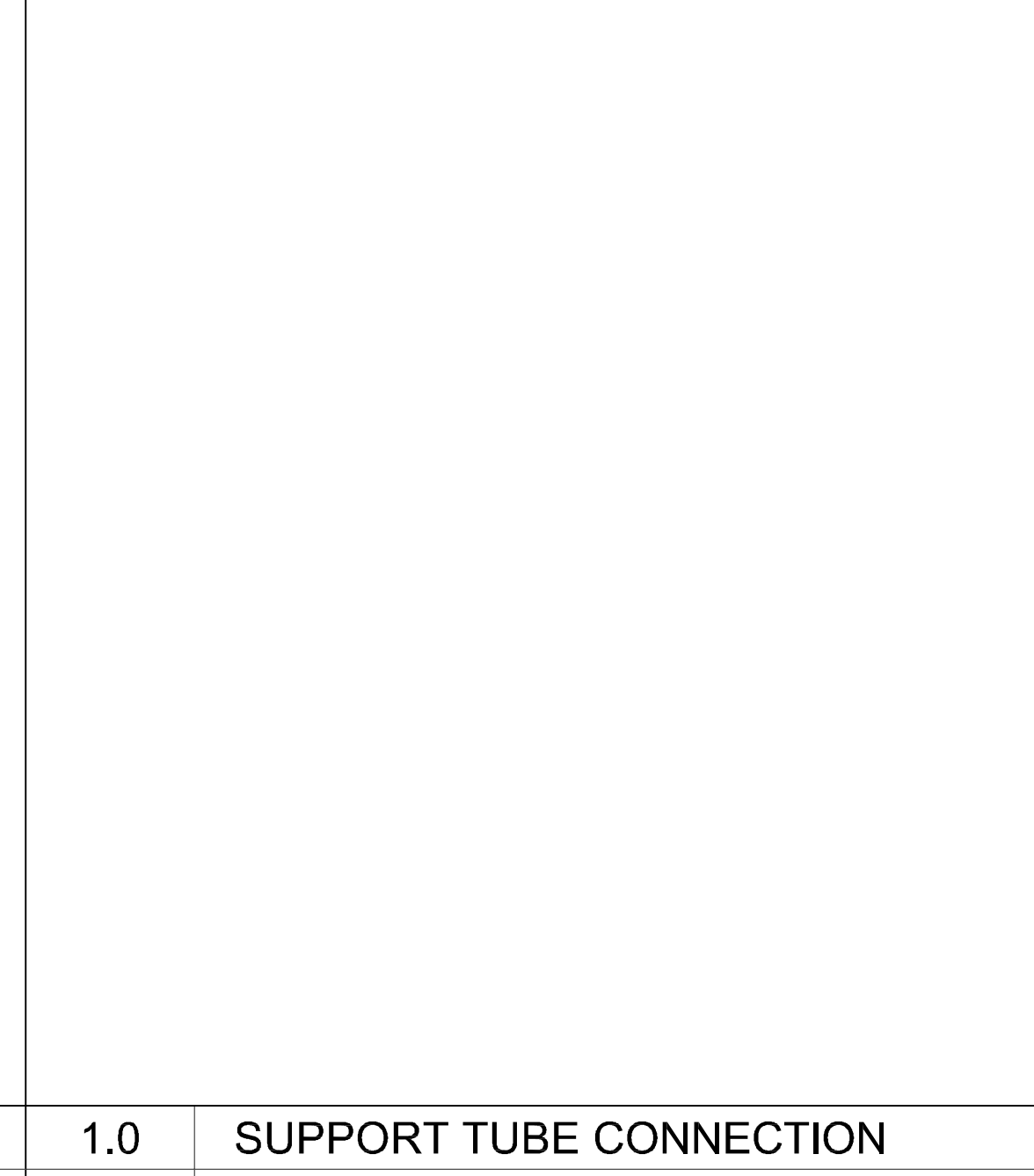
A602



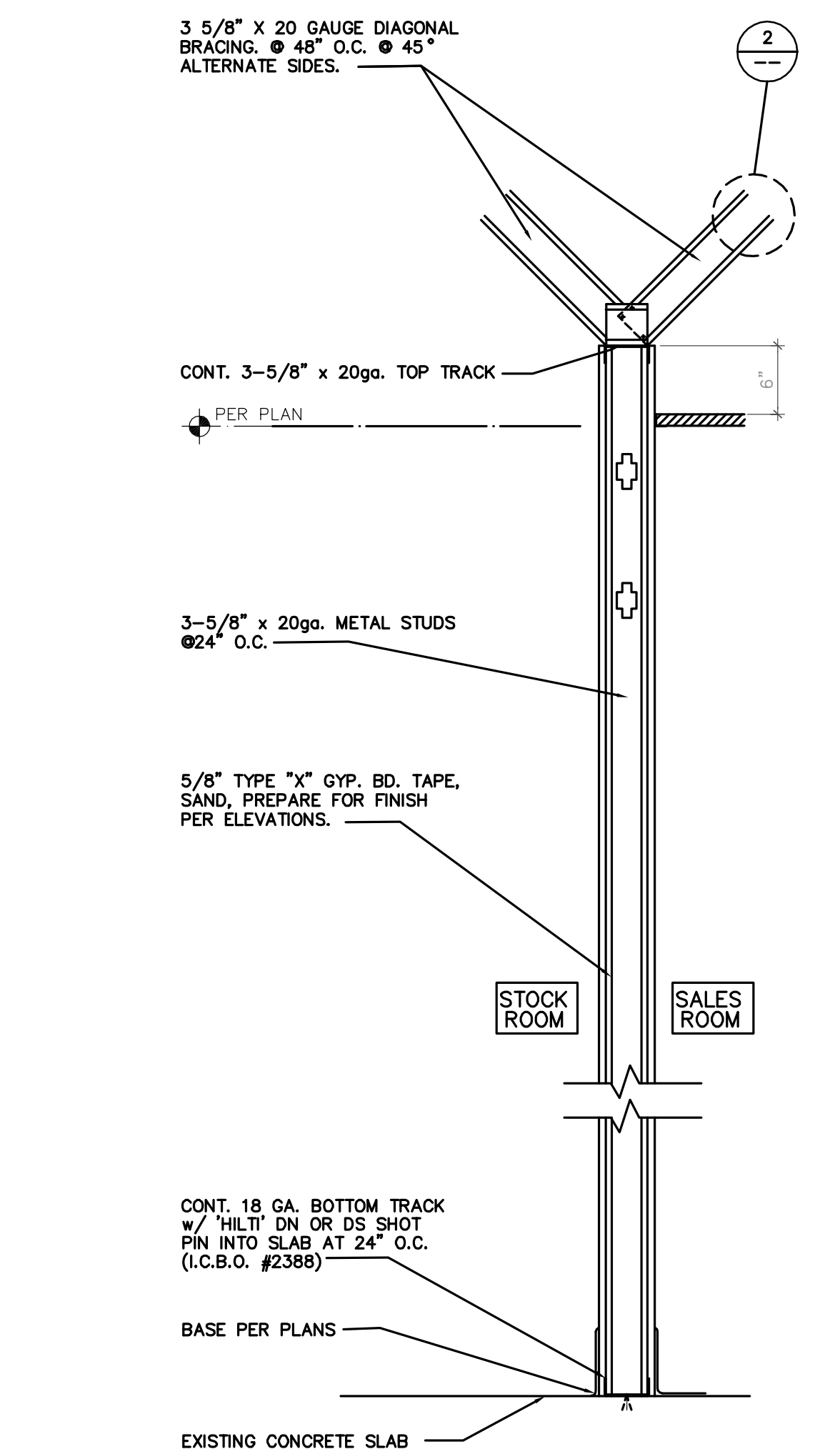
6.0 RAINSCREEN ATTACHMENT
1/2"=1'-0"



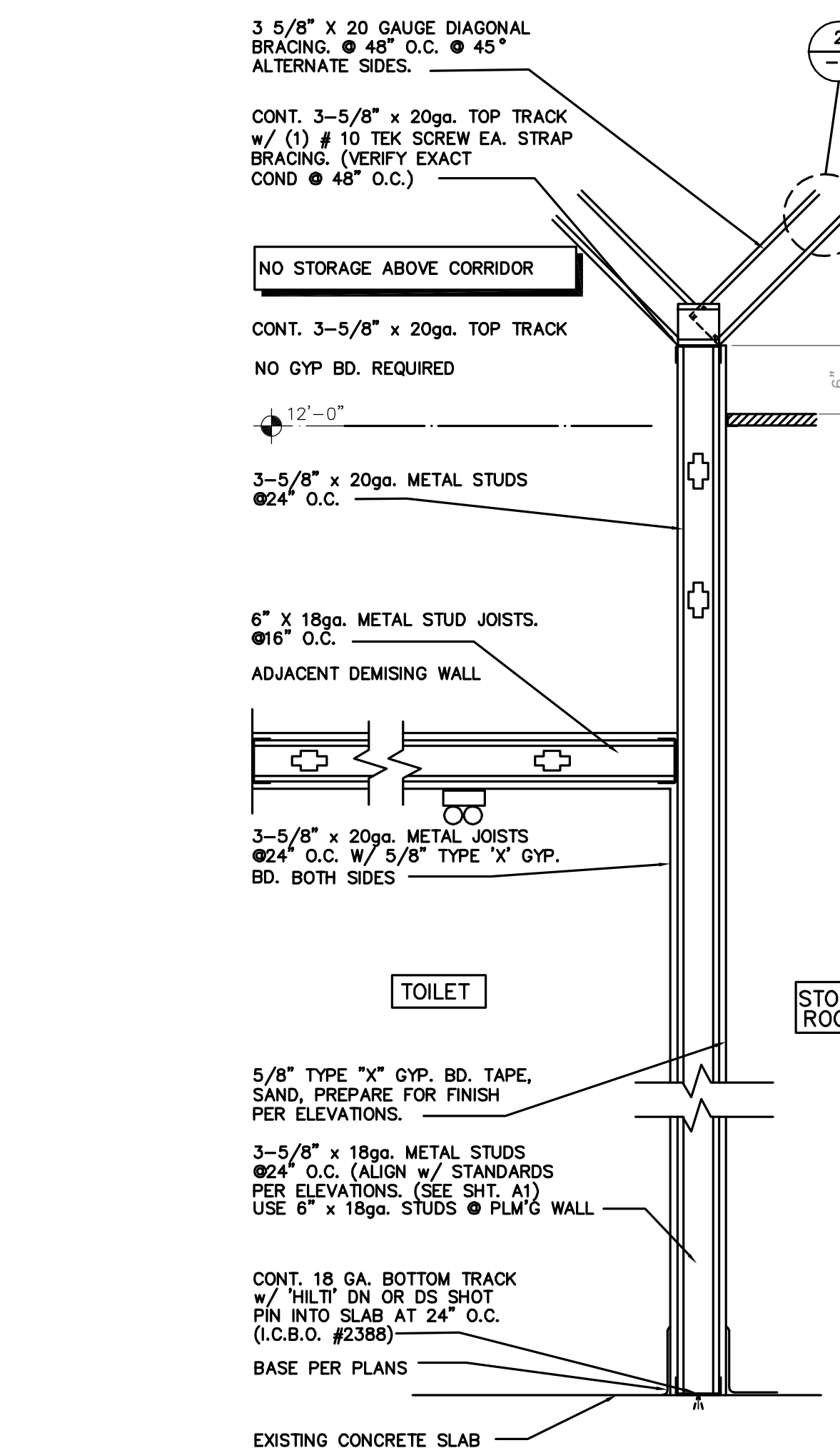
4.0 PARTITION WALL DETAIL
1/2"=1'-0"



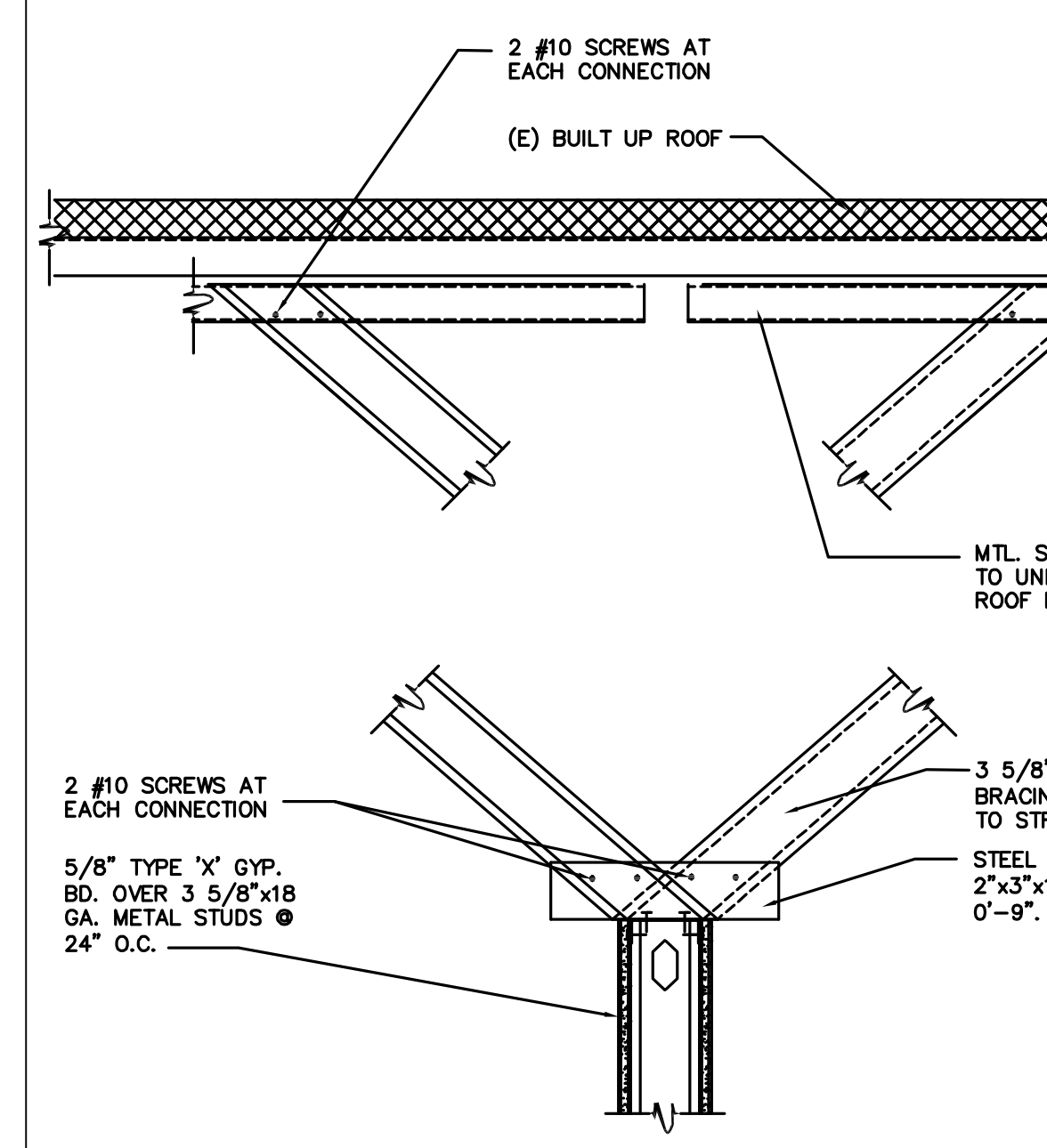
1.0 SUPPORT TUBE CONNECTION
1/2"=1'-0"



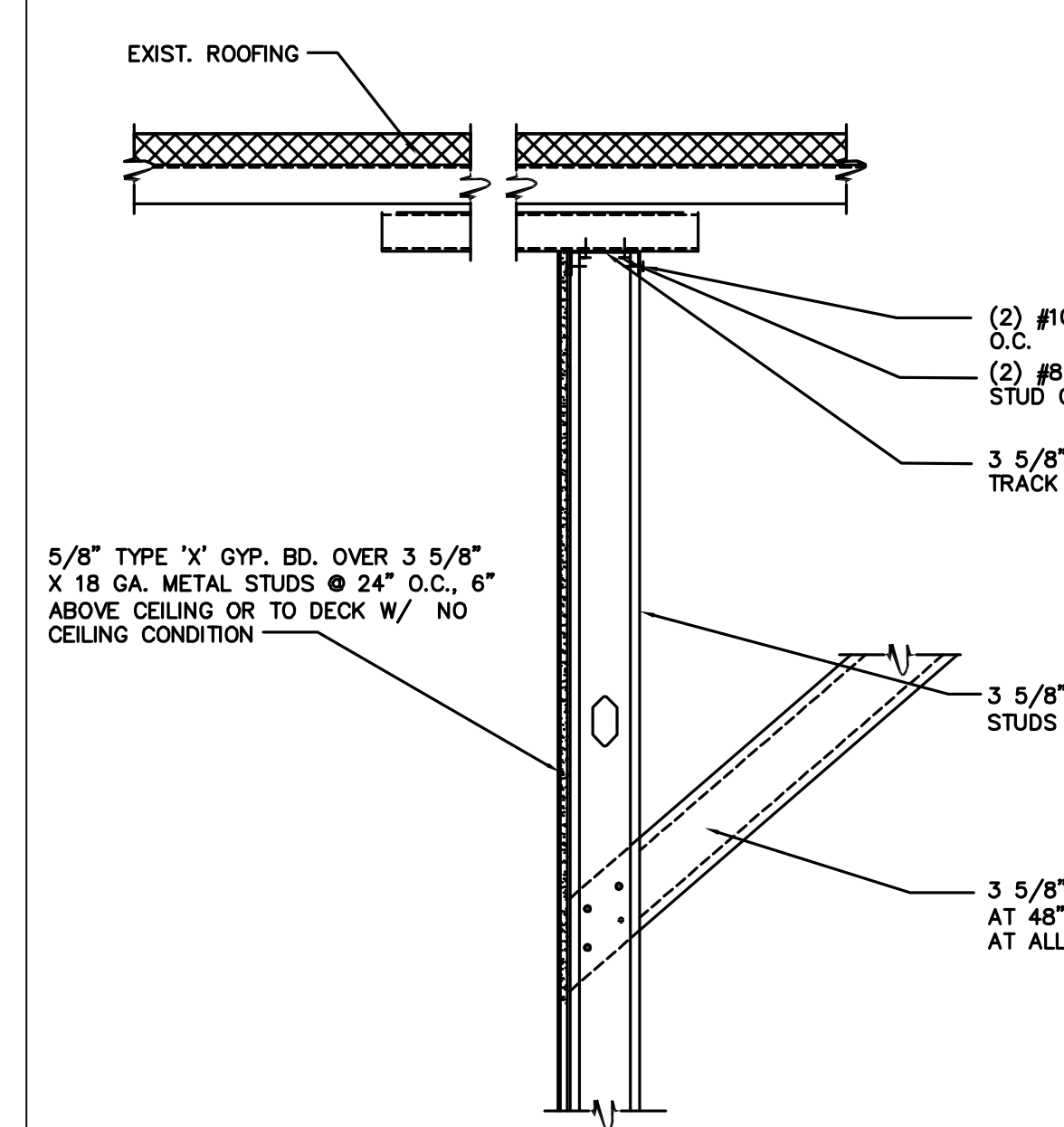
7.0 NON-BEARING PARTITION
1/2"=1'-0"



5.0 WALL @ RESTROOM
1/2"=1'-0"



2.0 PARTITION BRACING CONNECTION
N.T.S.



3.0 SOFFIT TO STRUCTURE
N.T.S.

DIVISION 0 - CONTRACT REQUIREMENTS

007200 GENERAL CONDITIONS

- Unless otherwise agreed upon by Contractor and Owner, in part or in whole, the "General Conditions of the Contract for Construction," AIA Document A201, 2017 Edition, shall govern the Work.

DIVISION 1 - GENERAL REQUIREMENTS

011000 SUMMARY

- This specification identifies requirements for several Projects, and may contain elements which do not apply to this particular Project. Refer to the Drawings to determine whether the specified element applies to this Project.

014000 PROJECT COORDINATION

- Permits and fees shall be obtained by subcontractors who have obtained all permits required for inspections and temporary facilities.

SECTION 014500 - QUALITY CONTROL

- Standards: Comply with industry standards except when more restrictive tolerances or specified requirements indicate more rigid standards or more precise workmanship.

015000 TEMPORARY FACILITIES AND CONTROL

- All temporary facilities and controls, including the following, are to be coordinated entirely with the Owner.

016000 PRODUCT REQUIREMENTS

- Substitutions will not be allowed unless approved by owner and/or architect. Architect will determine acceptability of proposed substitution, and will notify contractor of acceptance or rejection within a reasonable time in writing.

017329 CUTTING AND PATCHING

- Sealing surfaces and construction as necessary to make Work complete, with all components matching and consistent.

DIVISION 2 - EXISTING CONDITIONS

024119 SELECTIVE DEMOLITION

- Demolish in an orderly and careful manner as required to accommodate the work. Where demolition exceeds that indicated, verify such demolition with the Architect prior to proceeding.

DIVISION 3 - CONCRETE

030133 CONCRETE SLAB PATCHING

- Quality Assurance: Perform work in accordance with ACI 301, as applicable.

DIVISION 4 - FINISHES

040501 GYPSUM BOARD UNDERLAYMENT

- Summary: Cementitious underlayments as necessary for leveling of new or existing concrete floor substrates, as necessary to meet specified tolerances.

- Maintain surface and ambient temperature of between 50 and 80 degrees F for 24 hours before, during, and 24 hours after underlayment installation.

DIVISION 5 - METALS

054000 COLD-FORMED METAL FRAMING

- Summary: Light GA structural steel metal framing at exterior walls where indicated on the Drawings, and at soffit construction supporting storefronts, display windows, and signage elements.

DIVISION 6 - WOOD AND PLASTER

061000 ROUGH CARPENTRY

- Dimension Lumber: Lumber shall be manufactured in accordance with PS 20, and shall be stamped and graded in accordance with SPIB, WVA, WCLB, or NLAG grading rules.

DIVISION 7 - PAINTS AND COATINGS

070001 INTERIOR PAINTS AND COATINGS

- Summary: Interior finish conditions, including primers, patching compounds, and sand fillers as recommended by the underlayment manufacturer for the conditions of the project.

DIVISION 8 - OPENINGS

083100 ACCESS DOORS AND PANELS

- Quality Assurance: Where access doors are installed in construction with an hourly fire resistance rating, provide door and frame assemblies labeled by Underwriter's Laboratory, Warnock Hersey, or any other testing laboratory approved by the local code authorities to meet the requirements of the fire rated assembly.

DIVISION 9 - FINISHES

090561; 13 MOISTURE VAPOR EMISSION CONTROL

- General: Pre-formed moisture suppression membrane installed over concrete subfloor as a floor covering underlayment.

DIVISION 10 - PARTITIONS

100200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

- Quality Assurance: Use only skilled installers specially trained in the techniques of sealing, and familiar with the published recommendations of the manufacturers of the sealants being used.

DIVISION 11 - PARTITIONS

110200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 12 - PARTITIONS

120200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 13 - PARTITIONS

130200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 14 - PARTITIONS

140200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 15 - PARTITIONS

150200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 16 - PARTITIONS

160200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 17 - PARTITIONS

170200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 18 - PARTITIONS

180200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 19 - PARTITIONS

190200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

- Interior Partitions: 5 pounds per square foot uniform live lateral load.

DIVISION 20 - PARTITIONS

200200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 21 - PARTITIONS

210200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 22 - PARTITIONS

220200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 23 - PARTITIONS

230200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 24 - PARTITIONS

240200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 25 - PARTITIONS

250200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 26 - PARTITIONS

260200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 27 - PARTITIONS

270200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 28 - PARTITIONS

280200 LIGHT GAGE METAL SOFFIT FRAMING

- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

DIVISION 29 - PARTITIONS

290200 LIGHT GAGE METAL SOFFIT FRAMING

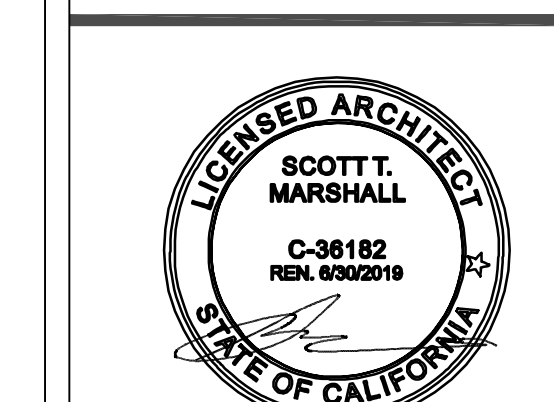
- Summary: Interior partition, ceiling, and soffit construction, not covered by Section 054000.

Table with 4 columns: HEIGHT, STUD, FLANGE, GAGE, SPACING. Rows for INTERIOR and EXTERIOR conditions.

- Interior Partitions: 5 pounds per square foot uniform live lateral load.

JLL Architecture, LLC
200 East Randolph Drive
Chicago, IL 60601

398 S. Mill Avenue, # 201
Tempe, AZ 85281
tel +1 480 626 6304
fax +1 480 401 3602



06.14.18

FARROW & BALL
WEST HOLLYWOOD
741 NORTH LA CIENEGA BOULEVARD
LOS ANGELES, CALIFORNIA

Table with 2 columns: ISSUE DATE and REVISIONS.

Farrow & Ball
Uddens Estate
Wimborne Dorset BH21 7NL
D+44 1202 850 183

PROJECT SPEC SECTION

Table with 2 columns: ISSUE DATE and DRAWN BY.

PROJECT NO: F&B 301

A800

